

**TOWNSHIP OF WEST BRADFORD
CHESTER COUNTY, PENNSYLVANIA**

ORDINANCE 19 - 06

**AN ORDINANCE OF THE TOWNSHIP OF WEST BRADFORD, CHESTER COUNTY,
PENNSYLVANIA PROVIDING FOR THE AMENDMENT OF THE ZONING
ORDINANCE OF WEST BRADFORD TOWNSHIP OF 1977, AS AMENDED, AND AS
CODIFIED AT CHAPTER 450 OF THE WEST BRADFORD TOWNSHIP CODE,
REGARDING ARTICLE II, DEFINITIONS, AND ARTICLE VII, TRADITIONAL
NEIGHBORHOOD DEVELOPMENT – 2 (TND-2).**

NOW THEREFORE, IT IS HEREBY ORDAINED AND ENACTED, by the Board of Supervisors of the Township, that the West Bradford Township Zoning Ordinance of 1977, as amended (the “Zoning Ordinance”), shall hereby be further amended as follows:

SECTION 1. Article II, Section 450-8, Definitions shall be amended to add the following definitions:

Adaptive Reuse: The development of a new use for an existing building that typically involves a conversion of use from residential to non-residential.

Alley: A minor right-of-way, municipally or privately owned, typically providing vehicular access to the side or rear of two (2) or more lots.

Breweries: Establishments licensed to produce, transport and sell malt or brewed beverages for on or off-site consumption. Pennsylvania manufactured wines, spirits, and malt or brewed beverages may be sold for on-site consumption, but shall not exceed 50% of on-site sales of brewery’s own malt/brewed beverage. Breweries may include:

- A. **Brewpub:** A combination brewery and restaurant that sells fifty percent (50%) or more of its brewed beer onsite. The beer is brewed primarily for sale in the restaurant, but beer may be sold for off-site consumption, and must produce a minimum of 250 barrels per year.
- B. **Craft Brewery:** A small, independent, and traditional brewery with an annual production of less than one (1) million U.S. beer barrels as defined by the American Brewers Association.
- C. **Microbrewery:** A brewery that produces less than 15,000 barrels of beer per year, and typically producing beer for off-site distribution while serving a percentage of the product for on-site consumption in a taproom or tasting room.
- D. **Nanobrewery:** A very small brewery, defined by a less than four (4) U.S. barrels (479L) brew system.
- E. **Winebar/Bring Your Own Food (BYOF):** A commercial establishment that lacks a full kitchen, focuses on the sale of wine, traditionally serves cheeses and desserts, and allows food to be brought in from other locations and consumed onsite.

Civic Plaza: A type of required Green Area in the TND-2 District that is subject to the Design Guidelines of §450-48, Manual of General Design Guidelines.

Design Review Committee (DRC): A Committee of five (5) persons appointed by the Board of Supervisors to oversee the detailed design and approvals process in the TND-2 District, as illustrated in 450 Attachment 1, TND – 2 District Summary of Design and

Approvals Process. The DRC shall consist of: one (1) member of the Planning Commission; one (1) member of the Board of Supervisors; one (1) member of the Historical Commission; one (1) Architectural Consultant; and one (1) Town Planner. The West Bradford Township Planning Commission shall serve as the designated DRC in the absence of an appointed DRC by the Board of Supervisors.

Distillery, craft/limited: An establishment licensed to manufacture, stored, bottled, and sold in sealed containers at wholesale. Such establishments may produce no more than 50,000 gallons of distilled liquor per year. Pennsylvania manufactured wines, spirits and malt or brewed beverages may be sold for on-site consumption, but shall not exceed fifty percent (50%) of on-site sales of brewery's own malt/brewed beverage

Green Area: The landscaped space between principal buildings, or an open space or recreational area, pocket park, walkway, promenade, village green, civic plaza or square, or other outdoor space in which features such as benches, gazebos, pergolas, trellises, planters, plantings, lighting, and the like, are installed and maintained.

Green Court: A Green Area along which dwelling units front.

Green Court Lot: A lot which fronts on a Green Area and has vehicular access from a rear alley.

Live-Work Units: A dwelling unit in combination with a place of business within the same building, whereby the resident occupant lives above the shop, studio or other place of employment that is located below, on the ground floor of the building.

Manual of General Design Guidelines: The document, included as §450-48.A of this Ordinance, prepared in accordance with §708-A of the Pennsylvania Municipalities Planning Code, and is intended to provide guidance to Applicants with the preparation of Plans in the TND-2 District.

Manual of Specific Design Guidelines: The document prepared by an Applicant in the TND-2 District that specifies the proposed components of a development whenever one (1) or more non-residential buildings, and two (2) or more new residential buildings are proposed.

Mixed-Use: A combination of residential, limited commercial, civic, and/or public uses within a TND-2 District.

No-Impact Home-Based Business: A business or commercial activity administered or conducted as an accessory use which is clearly secondary to the use as a residential dwelling and which involves no customer, client or patient traffic, whether vehicular or pedestrian, pickup, delivery or removal functions to or from the premises, in excess of those normally associated with residential use. The business or commercial activity shall satisfy the requirements of §450-62.M.

Parklet: A type of required Green Area in the TND-2 District that is subject to the Design Guidelines of §450-48, Manual of General Design Guidelines.

Pocket Park: A type of required Green Area in the TND-2 District that is subject to the Design Guidelines of §450-48, Manual of General Design Guidelines.

Public Way: A Street, Alley, or other thoroughfare that provides vehicular access.

Streetscape: The public space of the village within which buildings and structures are placed close to the street and features such as facades, porches, shopfronts, street trees, streetlights, sidewalks, picket fences, walls and awnings that contribute to a cohesive character.

Square: A type of required Green Area in the TND-2 District that is subject to the Design Guidelines of §450-48, Manual of General Design Guidelines.

Taproom: An accessory use to a brewery or craft distillery, as a place for the sale by the glass and consumed on the premises of alcoholic beverages produced onsite, with the sale of food as a secondary object as distinguished from a restaurant where the sale of food is the primary object.

Tasting Room: An accessory use to a brewery or craft distillery, as a place for the consumption of spirits and/or beer produced onsite for the purpose of sampling for prospective purchase only. The quantity of any sample is not to exceed four (4) ounces for malt, one (1) ounce for wine, and one and one-half (1 ½) ounces for spirits.

Traditional Neighborhood Development: A context-sensitive form of development that is consistent with Article VII-A of the Pennsylvania Municipalities Planning Code, in which the scale and proportion emulates the spatial attributes of the Village of Marshallton, and is patterned with similar Build-To Lines (setbacks), front yards, side yards, building heights, first floor elevations of buildings, Green Areas, and diversity of these features.

Village Green: A type of required Green Area in the TND-2 District that is subject to the Design Guidelines of §450-48, Manual of General Design Guidelines.

SECTION 2. Article VIII, Traditional Neighborhood Development – 2 (TND-2) shall be amended in its entirety to read as follows:

§450-43. INTENDED PURPOSE

- A. Encourage the continuation of the traditional character and land use pattern of the Village of Marshallton (the “Village”), as enabled by Article VII-A of the Pennsylvania Municipalities Planning Code titled “Traditional Neighborhood Development.”
- B. Promote the adaptive reuse of buildings in Marshallton, to the maximum extent possible.
- C. Discourage the demolition of existing viable buildings.

- D. Promote Traditional Neighborhood Development that is compact and context sensitive, pedestrian-oriented, and mixed-use, whenever new development or redevelopment takes place.
- E. Encourage development and redevelopment to be in keeping with the density, scale, height, and proportions of the traditional setting of the Village of Marshallton.
- F. Help to ensure consistency with the goals and objectives of the Comprehensive Plan of 2009, and any updates thereto, and promote innovative designs that contribute to the village character, by protecting and complementing the historic and scenic values of the Village of Marshallton.
- G. Be consistent with “Creating Connections: Country Paths & Village Sidewalks – A Greenways, Trails, and Gateways Plan for West Bradford Township,” dated June 22, 2004, and any updates thereto.
- H. Be consistent with the Open Space, Recreation, and Environmental Resources Plan of 1993, and any updates thereto, complementing the village pattern, promoting pedestrian circulation to reinforce the community character, and protecting historic resources.
- I. Beautify and enhance the streetscape with sidewalks, street trees, street lights, and signage consistent with the village setting.
- J. Discourage larger footprint buildings that would be disruptive to the character and ambience of the village.
- K. Encourage the construction and maintenance of Green Areas in the form of village greens, civic plazas and squares, pocket parks, parklets, and Green Courts.

§450-44. DEFINITIONS

The definitions in §450-8 apply to the Traditional Neighborhood Development-2 (TND-2) District.

§450-45. QUALIFYING CONDITIONS

Development in the Traditional Neighborhood Development-2 (TND-2) District shall be conditioned upon the following:

- A. The Traditional Neighborhood Development-2 (TND-2) District shall apply to lots located within the Village of Marshallton as shown on the Township Zoning Map, and shall govern the development and redevelopment of lots, as well as changes to an existing building or buildings, when it requires a building permit involving features addressed in the Manual of General Design Guidelines, excluding repairs.

- B. Development shall be served by public sewer service in accordance with the Township Act 537 Sewage Facilities Plan.
- C. New non-residential development, substantial additions of forty percent (40%) or more to existing non-residential development, and new two-family and multi-family dwellings, shall be served by an approved public water service in accordance with the West Bradford Township Subdivision and Land Development Ordinance.
- D. As part of each stage of the preliminary and final subdivision and land development plan application, the Applicant shall submit detailed plans/drawings of the proposed dwellings and other buildings demonstrating compatibility with the range of dwelling and other building examples found within the Manual of General Design Guidelines, in accordance with §450-48.A and the other related provisions of this Article.
- E. As part of the preliminary/final subdivision and land development plan application, the applicant shall submit a Manual of Specific Design Guidelines for the specific project being proposed that shall be reviewed by the DRC – Design Review Committee.

§450-46. USES AND STRUCTURES

A. Residential

- (1) Any one (1) of the following principal residential uses are permitted on a lot, in accordance with §450-47.B(1), except that a mix of housing types are permitted on a tract of five (5) acres or greater:
 - (a) Single-family detached dwelling.
 - (b) Single-family semi-detached dwelling.
 - (c) Two-family detached dwelling.
 - (d) Single-family attached (townhouse) dwelling.
 - (e) Apartment (multi-family) dwellings on the second or third floor of a shop or office.
- (2) Accessory uses:
 - (a) The following uses and structures are permitted as accessory to the above permitted principal uses, provided they meet the definition of an accessory use or structure and do not alter the character of any of the foregoing permitted uses, in accordance with §450-65 of this chapter:
 - [1] Bed-and-Breakfast Inn, in accordance with §450-62.N of this chapter, except that the minimum lot size shall be 12,000 square feet.
 - [2] No-Impact Home-Based Business, subject to the provisions of §450-62.M of this chapter.
 - [3] Home Occupation, subject to the provisions of §450-62.L of this chapter.
 - [4] Parking lot or garage, in accordance with §450-68.A of this chapter.

B. Commercial

(1) Any one (1) of the following principal commercial uses are permitted on a lot, in accordance with §450-47.C, except that a mix of uses are permitted on a tract of five (5) acres or greater:

- (a) Retail store.
- (b) Art gallery or antique shop.
- (c) Eating establishment.
- (d) Ice cream parlor, bakery, and confectionery.
- (e) Village inn.
- (f) Office.
- (g) Financial institution.
- (h) Personal service establishment.
- (i) General retail service or limited repair shop.
- (j) Cottage industry such as blacksmith, tinsmith, cabinet maker and similar trade.
- (k) Health spa or fitness center.
- (l) Day care center.
- (m) Live-work unit.
- (n) Brewpub.
- (o) Craft Brewery.
- (p) Microbrewery.
- (q) Nanobrewery.
- (r) Winebar/BYOF.
- (s) Craft Distillery.

(2) Accessory uses:

- (a) The following uses and structures are permitted as accessory to the above permitted principal uses, provided they meet in definition of an accessory use or structure and do not alter the character of any of the foregoing permitted uses, in accordance with §450-65 of this chapter:

- [1] Accessory uses and structures in accordance with §450-65 of this chapter;
- [2] Taproom; and
- [3] Tasting room.

C. Civic

(1) Any one (1) of the following principal civic uses are permitted on a lot:

- (a) Religious use.
- (b) Cemetery.
- (c) Community center.
- (d) Museum.
- (e) Visual and performing arts facility.
- (f) Library.
- (g) Community utility.

- (h) Education use.
- (i) Green Areas and/or Open Space owned by a village association or the Township that may consist of the following:
 - [1] Nature preserve.
 - [2] Active recreation.
 - [3] Village Green, Civic Plaza or Square, Pocket Park, Parklet.
 - [4] Passive recreation.
 - [5] Stormwater retention systems (when reviewed and recommended by the Planning Commission and approved by the Board of Supervisors).

(2) Accessory uses:

- (a) The following uses and structures are permitted as accessory to the above permitted principal uses, provided they meet in definition of an accessory use or structure and do not alter the character of any of the foregoing permitted uses, in accordance with §450-65 of the chapter:
 - [1] Accessory uses and structures, in accordance with §450-65 of this Ordinance, including Monuments and Memorials, are permitted as accessory uses.

D. Public

- (1) Any one (1) of the following principal public uses are permitted on a lot:
 - (a) Municipal Uses.
 - (b) Emergency Service Uses such as a firehouse, ambulance, or police station when authorized by the Township, and approved under an Agreement with the Township.

§450-47. AREA AND BULK REQUIREMENTS

A. General

- (1) All lots shall have frontage along a street, except for Green Court Lots which shall have vehicular access from alleys.
- (2) All buildings, except accessory structures, and except for Green Court Lots, shall have their main entrance face a street.
- (3) When new buildings are added, structures such as picket fences, walls, arbors, trellises, and/or pergolas, shall be constructed and maintained, depending on the number of proposed dwelling units, in locations approved by the Township in order to promote the identity of the Village.
- (4) Garages shall be located along alleys for all Green Court Lots. Garages shall otherwise be located in the rear or side of each lot (facing alleys where provided, or in the rear or to the side of a dwelling served by a driveway on the side of the

dwelling). Garages which may be attached to dwellings shall be limited to a single two (2) car garage per dwelling unit, and shall be located no less than twenty (20) feet behind the front facade of the dwelling in order to reduce their visual impact upon the streetscape. However, garages may only be attached if there is no space available to locate a detached garage in the side or rear yard due to constraints with topography, hydrology, geology, or woodlands.

- (5) In order to promote a streetscape scale and quality of the TND-2 District, the horizontal distance between opposing facades of the principal buildings on lots on opposite sides of a new street shall be a minimum of sixty-five (65) feet and a maximum of ninety (90) feet. The building separation distance will vary depending upon the width of the street, the landscaped area between the sidewalk and street, whether or not there is on-street parking, and whether or not there is a Green Court Lot. On new collector streets, the maximum horizontal distance between opposing facades shall be a minimum of seventy-five (75) feet and a maximum of 105 feet.
- (6) The maximum building height shall not exceed three (3) stories or thirty-five (35) feet, whichever is less; provided, however, that no more than fifty percent (50%) of all buildings shall be thirty-five (35) feet in height, and no more than fifty percent (50%) of all buildings shall be thirty (30) feet in height.
- (7) The maximum first floor elevation of buildings above the road centerline, perpendicular to the front door of the building in the front yard, shall not exceed five (5) feet.
- (8) Whenever an existing lot fronting directly along Strasburg Road is subdivided, all new buildings shall be located in alignment with existing buildings and shall conform to the predominant front and side yard setbacks of the block hosting the subdivision or land development, in order to promote consistency in the scale and character of the Village. The fronts of such buildings, not the backs, shall face Strasburg Road, and shall have porches.
- (9) Blocks shall be created with a maximum length of 560 feet with a maximum of seven (7) buildings, and a minimum length of 350 feet with a maximum of five (5) buildings.
- (10) Blocks shall have a minimum depth of 140 feet and maximum depth of 250 feet.

B. Residential

- (1) Minimum Lot Area and Maximum Density for Tracts of Five (5.0) Acres and Greater:
 - (a) A maximum density of four (4) dwelling units per net acre regardless of the type of dwelling units that are built, provided such dwellings are served by approved public water and public sewer.
 - (b) 8,500 square feet for single-family detached dwellings.
 - (c) 5,000 square feet per dwelling unit for semi-detached and two-family detached dwellings.
 - (d) 3,500 square feet for single-family attached dwellings.

(2) Minimum Lot Area and Maximum Density for Tracts of Less Than Five (5.0) Acres:

- (a) A maximum density of three (3) dwelling units per net acre regardless of the type of dwelling units that are built, provided such dwellings are served by approved public water and public sewer.
- (b) 9,000 square feet for single-family detached dwellings.
- (c) 6,000 square feet per dwelling unit for semi-detached and two-family detached dwellings.
- (d) 3,500 square feet for single-family attached dwellings.

(3) Minimum Lot Width at the Building Line:

- (a) Thirty-six (36) feet for single-family detached dwellings.
- (b) Thirty-six (36) feet for semi-detached and two-family detached dwellings.
- (c) Twenty (20) feet for single-family attached interior units.
- (d) Twenty-eight (28) feet for single-family attached end units.
- (e) Fifty (50) feet for other multi-family uses.

(4) Front Yard Setback:

- (a) Fifteen (15) feet minimum from the curblane.
- (b) Twenty-two (22) feet maximum from the curblane
- (c) Minimum of fifty (50) to a maximum of sixty-five (65) feet from the curblane whenever there is a Green Court Lot.

(5) Minimum Side Yards:

- (a) Eight (8) feet for single-family detached, two-family detached, and semi-detached dwellings on one side and ten (10) feet on the other side.
- (b) Ten (10) feet for single-family attached (end lot) and other multi-family uses on one side.
- (c) To promote variety and diversity, no two adjoining lots shall have the same side yard setbacks, and no two adjoining lots shall have the same combination of side yard setbacks. Variations of side yard setbacks shall be at least three (3) feet in width.
- (d) Accessory structures shall be setback at least five (5) feet from lot lines.
- (e) Whenever a side yard abuts an R-1 and/or R-2 District, the minimum side yard setback shall be twenty-five (25) feet and the twenty-five (25) foot setback area shall be landscaped with Evergreen Trees, unless there is an existing vegetative buffer that provides year round screening.

(6) Minimum Rear Yard:

- (a) Twenty-five (25) feet for single-family detached and semi-detached dwellings, except for accessory structures, which shall be eight (8) feet, and except along the perimeter of the TND-2 District as set forth in Subsection (c) below.
- (b) Fifteen (15) feet for single-family attached (end lot) and other multi-family uses, except for accessory structures, which shall be eight (8) feet, and except along the perimeter of the TND-2 District as set forth in Subsection (c) below. Lots shall have their rear lot lines abutting an alley designed per §450-49.B(3).

- (c) Along the perimeter of the TND-2 District, abutting an R-1 and R-2 District, the minimum rear yard setback shall be fifty (50) feet, and twenty-five (25) feet of the setback area shall be landscaped with Evergreen Trees, unless there is an existing vegetative buffer that provides year round screening.
- (7) Maximum Building and Impervious Surface Coverage:
- (a) For Lots 9,000 Sq. Ft. or Less –
 - [1] Building Coverage – Thirty-five percent (35%)
 - [2] Impervious surface coverage – Seventy percent (70%).
 - (b) For Lots Greater Than 9,000 Sq. Ft. to 30,000 Sq. Ft. –
 - [1] Building coverage – Thirty percent (30%).
 - [2] Impervious surface coverage – Sixty percent (60%).
 - (c) For Lots Greater Than 30,000 Sq. Ft. –
 - [1] Building coverage – Twenty percent (20%).
 - [2] Impervious surface coverage – Thirty-five (35%).
- (8) Dwellings shall be designed, detailed, and built to enhance the village character. Gabled roofs facing the street and front porches shall be featured to promote the village setting. Roof lines shall vary by at least three (3) to six (6) feet in height for any two adjoining buildings. Multi-family buildings shall be designed to emulate traditional buildings of this nature in historic villages in Chester County, or shall be designed to resemble large single-family residences, as shown in the Manual of General Design Guidelines.

C. Commercial

- (1) Lot area shall be 20,000 square feet minimum for each use.
- (2) Minimum lot width at the building line of fifty (50) feet.
- (3) Front yards of fifteen (15) feet minimum and twenty-two (22) feet maximum.
- (4) Rear yard of twenty (20) feet minimum, except for accessory structures which shall be eight (8) feet minimum; provided, however, along the perimeter of the TND-2 District, abutting an R-1 and/or R-2 District, the minimum rear yard setback shall be fifty (50) feet, and twenty-five (25) feet of the setback area shall be landscaped with Evergreen Trees unless there is an existing vegetative buffer that provides year round screening. Lots shall have their rear lot lines abutting an alley designed per §450-48.A(3) or another street.
- (5) Side yard of ten (10) feet minimum on one side and fifteen (15) feet minimum on the other side, except for accessory structures which shall be five (5) feet minimum. However, when a side yard abuts an R-1 and/or R-2 District, the minimum side yard setback shall be twenty-five (25) feet and the twenty-five (25) foot setback area shall be landscaped with Evergreen Trees, unless there is an existing vegetative buffer that provides year round screening
- (6) Building and Impervious Surface Coverage:
 - i. For Lots Greater Than 20,000 Sq. Ft. to 30,000 Sq. Ft. –

- [1] Building coverage (maximum) – Thirty percent (30%).
- [2] Impervious surface coverage (maximum) – Sixty percent (60%).
- (b) For Lots Greater Than 30,000 Sq. Ft. –
 - [1] Building coverage - (maximum) Twenty percent (20%), except in the case of a Village Inn, it shall not exceed twenty-five percent (25%).
 - [2] Impervious surface coverage - (maximum) Thirty-five percent (35%), except in the case of a Village Inn, where it shall not exceed fifty percent (50%).
- (7) New commercial buildings shall be either traditional in their architectural character, or be a contemporary expression of traditional styles and forms, replicating the scale, height, proportion, and character of village shops. Roof lines shall vary by three (3) to six (6) feet in height for any two adjoining buildings.
- (8) Landscaping shall be placed around buildings and their parking lots emphasizing low-maintenance native species of trees and shrubs.

D. Civic

- (1) Lot area shall be 20,000 square feet minimum.
- (2) Minimum lot width at the building line of fifty (50) feet.
- (3) Front yards abutting a new street shall maintain the streetscape setback of §450-47.A(5).
- (4) Rear yard of twenty (20) feet minimum, except for accessory structures which shall be eight (8) feet minimum; provided, however, along the perimeter of the TND-2 District, abutting an R-1 and/or R-2 District, the minimum rear yard setback shall be fifty (50) feet, and twenty-five (25) feet of the area shall be landscaped with Evergreen Trees unless there is an existing vegetative buffer that provides year round screening.
- (5) Side yards of eight (8) feet minimum and twelve (12) feet maximum, except for accessory structures which shall be five (5) feet minimum. However, when a side yard abuts an R-1 and/or R-2 District, the minimum side yard setback shall be twenty-five (25) feet and the twenty-five (25) foot setback area shall be landscaped with Evergreen Trees, unless there is an existing vegetative buffer that provides year round screening.
- (6) Maximum impervious surface area as per §450-47.B(6).
- (7) New civic buildings shall be either traditional in their architectural character, or be a contemporary expression of traditional styles and forms, replicating the scale, height, proportion, and character of the Village.

E. Public

- (1) Green Areas and Open Space shall have no minimum lot size.
- (2) New public buildings shall maintain the streetscape setback of §450-47.A(5).
- (3) The Area and Bulk Requirements of §450-47.D shall apply.

§450-48. GENERAL DESIGN GUIDELINES

- A. The Manual of General Design Guidelines (the “Manual”) is adopted herein as if fully set forth and shall apply, as well as the design guidelines below.

[1] *Editor’s Note: The Manual of General Design Guidelines is on file in the Township offices.*

B. Buildings

- (1) New buildings in the TND-2 District shall be in scale, height, width and proportion to the buildings existing in the Village of Marshallton. The size and form of buildings shall emulate the historic character of the Village and shall comply with the provisions of this Article, the Manual of General Design Guidelines, and excerpts of the “*Get Your House Right*,” 2007, set forth in the Appendix starting with page A.6 of the Manual.
- (2) Buildings should be adaptively reused to extend their lifespan and utility.
- (3) Any new building that is built on an oversized lot shall be located close to the sidewalk, in alignment with existing buildings. Any such building shall conform to the predominant existing front and side yard setbacks of the block hosting the new construction.
- (4) Whenever a new building cannot be located at the traditional build-to line, a wall or fence of at least thirty-six (36) inches in height shall be installed and maintained. Street trees shall also be installed and maintained.
- (5) New street corners shall be anchored by buildings, not parking lots.
- (6) No new principal building shall have a flat roof. Roof pitches and variations in roof lines shall be in accordance with the Manual and §§450-48.A(25)(e); 450-48.A(25)(f); 450-48.A(31)(o) and 450-48.A(31)(q).
- (7) All new buildings shall be at least twenty (20) feet in height.
- (8) Dwellings shall have a minimum width of twenty (20) feet and a maximum width of forty (40) feet in the front yard.
- (9) Blank walls shall not be permitted for new buildings along any exterior building wall facing a street, public parking area, or sidewalk. Exterior walls in these locations shall have architectural treatments that are the same as the front facade, including consistent style, materials, fenestration, and details.
- (10) Porches, Stoops and Awnings:

- (a) Existing porches and stoops shall be maintained and remained unenclosed to continue the pedestrian realm of the Village.
- (b) New buildings should have unenclosed porches or stoops to emulate the character of existing buildings in the Village.
- (c) Any new porch shall be at least seven (7) feet deep and fourteen (14) feet wide.
- (d) Awnings shall not be permitted along the frontage of a building on a street.
- (e) Awnings may only be permitted along the rear of a building.

(11) Exterior wall materials, windows and doors, roofs and roofing materials, chimneys, and building additions, shall be designed and constructed to be compatible with the architectural character of existing principal buildings in terms of design, proportion, and materials.

(12) Accessory buildings shall be designed and constructed to be compatible with the architectural character of existing principal buildings in terms of design, proportion, and materials.

(13) All new mechanical equipment, such as HVAC equipment and above ground tanks, shall be screened from public view of a public way.

(14) If buildings have recesses and projections, the minimum shall be eight (8) inches, and the maximum shall be five (5) feet.

(15) Variations in building design and architecture shall be achieved whenever there are more than two (2) proposed dwellings in a development, in order to provide a diversity of styles and neighborhood character.

(16) No more than four (4) townhomes shall be attached as a single building group, so as to minimize the number of interior units, and to better emulate the scale and proportion of existing buildings in the Village.

(17) No more than eight (8) dwelling units shall be under a single roof for multi-family apartment dwellings, so as to better emulate the scale and proportion of existing buildings in the Village.

C. Streets and alleys shall be in accordance with §450-49.

D. Parking shall be in accordance with §450-50.

E. Sidewalks and Other Pedestrian Circulation Systems

(1) The Applicant shall submit plans to depict sidewalks and other pedestrian circulation systems in accordance with the West Bradford Township Greenways, Trails and Gateways Plan or other Comprehensive Plan component.

(2) Sidewalks shall comply with §450-49.

(3) Sidewalks shall be clay brick or other approved unit pavers and connected to and integrated with existing sidewalks in the Village.

- (4) Crosswalks shall be provided across new streets at intersections. Crosswalks shall be at least six (6) feet in width, and constructed of clay brick or other approved unit pavers.

F. Street Trees, Other Landscaping and Buffers

- (1) Street trees shall comply with §450-49.
- (2) Existing street trees shall be maintained where healthy.
- (3) Whenever buildings are not located at the traditional Build-To Line, piers, fences, walls, and street trees shall be built and maintained along the frontage of new lots to enhance the village settings.
- (4) Street tree species shall be as listed in Appendix E.2, West Bradford Township List of Approved Plants, set forth in Attachment 5 to Chapter 385, Subdivision and Land Development, or as approved by the Township.
- (5) No more than twenty-five percent (25%) of the same species of street trees shall be used so as to avoid a monoculture.
- (6) All new street trees shall be:
 - (a) At least two and one-half (2 ½) inch caliper at the time of planting, if considered medium size deciduous street trees.
 - (b) At least three and one-half (3 ½) inch caliper at the time of planting, if considered large size deciduous street trees.
- (7) A perimeter buffer of at least twenty (20) feet in width shall be completely planted and maintained within the subdivision and land development of a tract of two (2) acres or greater, against any existing residential lot. The minimum height of shrubs shall be forty-two (42) inches, the minimum height of evergreen trees shall be six (6) feet, and the minimum caliper for deciduous trees shall be two (2) to two and one-half (2 ½) inches.

G. Street Lights

- (1) Street lights shall comply with §450-49.
- (2) Street lights along new streets shall be the “Washington” model, post and luminaire, by Spring City Electrical Manufacturing, or alternate approved by the Township, in accordance with the Manual of General Design Guidelines.
- (3) All street light illumination shall be shielded to prevent glare.
- (4) New street lights shall not exceed sixteen (16) feet in height.
- (5) Street lights shall be installed on both sides of new streets at 100-foot intervals. The interval between street lights may be modified based upon recommendations by the Design Review Committee, relative to spacing considerations pertaining to site conditions.

H. Gateways

- (1) All gateway treatments shall be consistent with the West Bradford Township Greenways, Trails and Gateways Plan, and the Manual of General Design Guidelines.
- (2) Street trees, street lights, piers, and the like are encouraged to define gateways into the Village from the east and west ends of Strasburg Road.

I. Signage

- (1) All signs for new commercial uses shall be limited to one (1) sign per street frontage, and shall not exceed eight (8) square feet in total sign area.
- (2) Any projecting signs shall have a minimum clearance of eight (8) feet above any sidewalk.
- (3) New signs should emulate the style, materials, mounting and anchoring of existing signs in the Village.
- (4) No new sign shall be internally illuminated.
- (5) Freestanding signs should be minimized, and no new freestanding sign shall be located within 100 feet of any existing freestanding sign.
- (6) Signs placed in windows of shops or stores shall not exceed twenty percent (20%) of the area of any window display.

J. Utilities.

- (1) All new utilities shall be installed underground.

K. Loading and Unloading Areas

- (1) Any new loading or unloading area shall be off-street, and in the rear or sides of buildings.
- (2) Any new loading dock shall be screened from any abutting residential property.
- (3) Loading docks shall not be visible from public streets.
- (4) All loading areas and loading docks shall be set back at least twenty-five (25) feet from residential areas.

L. Outdoor Storage of Materials

- (1) No outdoor storage of materials or goods shall be permitted.

M. Dumpsters

- (1) Any new dumpsters shall be enclosed in a wooden fenced area which shall conceal visibility of the dumpster, and is located to the rear or sides of buildings.
- (2) Trash disposal areas shall be located within buildings or within an opaque screened area that completely hides the trash and is located to the side or rear of the building. Any dumpster area and pad shall be set back at least twenty-five (25) feet from residential property lines.

N. Scenic By-Way

- (1) Strasburg Road through the Village of Marshallton shall be treated as a scenic road corridor and not subjected to adverse visual impact through the placement of temporary signs, trash can storage areas, dead trees, bulk storage of mulch, WiFi towers, cable TV boxes, satellite dish antennae, roof mounted HVAC equipment, or other like items that detract from the scenic quality of the roadside.

O. Green Areas

- (1) All TND-2 tracts with a gross tract area of two (2) acres or greater shall have at least one (1) Village Green of at least 3,500 square feet in size. Such Village Green shall be located at the entrance of the TND adjoining the frontage street.
- (2) All TND-2 tracts proposed as part of a subdivision or land development of two (2) or more lots, regardless of size, shall have at least one (1) Civic Plaza or Square of at least 1,000 square feet in size.
- (3) All TND tracts proposed as part of a subdivision or land development of two (2) or more lots, regardless of size, shall have at least two (2) Pocket Parks of at least 500 square feet in size.
- (4) Village Greens, Civic Plazas and Squares, Pocket Parks and Parklets shall have Shade Trees, Benches, Lighting, and other landscape and hardscape features, which shall be subject to design review and approval of West Bradford Township.
- (5) All Green Areas shall be designed, built, and maintained in accordance with the Manual of General Design Guidelines.

§450-49. STREETS AND ALLEYS

A. General Streets and Alleys

- (1) New TND-2 District streets shall be consistent with the Official Map.
- (2) Streets and alleys shall be interconnected, providing access to all lots within the TND-2 District.
- (3) Streets shall be supplemented with alleys to the rear of Village Lots, except as provided in §450-47A(4).
- (4) New streets may have on-street parking on one side or both sides, as described in this section and §450-50 of this article.
- (5) Street trees shall be planted at intervals of not more than thirty-five (35) feet, if considered tall height street trees and at intervals of not more than twenty (20) feet, if considered medium height street trees.
- (6) If development occurs on both sides of new or existing streets, street trees may be planted opposite each other or in an alternate spacing alignment.
- (7) Sidewalks shall be at least four and one-half (4½) feet in width, and shall be provided on both sides of a street (but are not required in alleys).

- (8) Sidewalks along new streets shall be separated from the edge of the street by a landscaped strip of at least eighteen (18) inches in width.
- (9) Sidewalks shall be constructed of unit pavers such as clay brick or brick pavers.
- (10) Street Lights shall be installed on both sides of new streets at one hundred (100) foot intervals.
- (11) Street Light posts, luminaires, color, and brightness, shall be governed by §450-48, Manual of General Design Guidelines.
- (12) Vehicular access to a rear garage shall be used to preserve the streetscape frontage of a lot to the maximum extent possible, except for Green Court Lots which shall have alleys. Whenever an alley is not proposed, the lot width shall be sufficient to permit a driveway to service a garage in the rear of the lot or to the backside of the dwelling.
- (13) All new public utility lines and similar facilities servicing the TND-2 District shall be installed underground within streets, and/or alleys where constructed. Electric transformers shall be installed underground or within the walls of a completely enclosed accessory building.
- (14) Curbs shall be installed and maintained along streets, but need not be placed along alleys.
- (15) Curb cuts shall be minimized.

B. Residential

- (1) Residential uses in new land developments shall front on streets with a maximum right-of-way width of fifty (50) feet, consisting of at least two (2) 8-foot wide travel lanes, 7-foot wide parallel parking on one side, and 4½-foot wide sidewalks on both sides of the street.
- (2) The curb radius shall not exceed twenty-five (25) feet for single-family detached and semi-detached dwellings and fifteen (15) feet for single-family attached and other multi-family uses.
- (3) Single-family detached and semi-detached dwellings may have their rear lot lines abutting an alley, except for Village Green Court Lots, which shall have alleys. Single-family attached and other multi-family uses shall have their rear lot lines abutting an alley. Where constructed, alleys shall contain a right-of-way and cartway sixteen (16) feet wide when designed for two-way traffic.

C. Commercial

- (1) Commercial uses in new land developments shall front on streets with a maximum right-of-way width of sixty (60) feet, consisting of at least two (2) 11-foot wide travel lanes, 8-foot wide parallel parking on at least one side, and 6-foot wide sidewalks on both sides.

- (2) Commercial uses shall have their rear lot lines abutting another street or an alley with a right-of-way and cartway eighteen (18) feet wide for two-way traffic.

D. Civic

- (1) Streets fronting Civic uses shall be consistent with the streets on the opposite side of the civic use.
- (2) A civic use lot may have its rear lot lines abutting an alley. Where constructed, alleys shall contain a right-of-way and cartway sixteen (16) feet wide for two-way traffic.

E. Public

- (1) Streets fronting Public uses shall be consistent with the streets on the opposite side of the Public use.

§450-50. PARKING

A. General

- (1) In order to maintain the character of the Village and the streetscape, parking may be located on-street, parallel to the curb line. On-street parking directly fronting a lot may be counted toward fulfilling the parking requirements.
- (2) Any on-street parking shall be approved by PennDOT or the Township, as applicable, and such spaces shall measure at least seven (7) feet in width and twenty-two (22) feet in length.
- (3) Parking on a lot shall be at the alley or to the rear of the building, as is typical in the village setting, unless otherwise permitted in §§450-50.B(2), 450-50.C(2) or 450-50.C(3).
- (4) The applicant may reduce the required number of parking spaces by demonstrating the possibility of shared parking in accordance with the publication titled "Shared Parking – Second Edition", 2005, ULI, or the latest edition thereof.
- (5) Adjacent parking lots shall have internal vehicular connections.
- (6) Whenever new off-street parking areas are provided for five (5) or more vehicles, they shall be screened by a pier, fence, hedge/landscaping combination, or wall of at least thirty-six (36) inches in height.
 - (a) Masonry walls shall be designed to reflect patterns of existing walls in the Village.
 - (b) Solid wooden fences and chain link fences shall not be permitted in front yards.

B. Residential

- (1) Parking shall be provided in accordance with §450-68.B in addition to the requirements for permitted accessory uses.
- (2) All off-street parking places shall be in the form of a garage located to the side or the rear of the building for single-family detached and semi-detached dwellings, except for Green Court Lots which shall have alleys. Such garage may be detached from or attached to the dwelling as set forth below. Off-street parking places for single-family attached dwellings and other multi-family use shall be in the form of a garage located to the rear of the building.
- (3) Garages shall meet one of the following design options listed in the order of preference:
 - (a) For single-family detached and semi-detached dwellings:
 - [1] The garage is rear entry and detached from the dwelling, such that garage doors are on the opposite side of the house from the front facade, accessed from an alley.
 - [2] The garage is located behind the rear facade of the house. Such garage may be detached from or attached to the dwelling, and the garage doors may face any direction.
 - [3] The garage is front-entry and recessed at least twenty (20) feet from the front facade (excluding any porches or decks) of the building. When such garages face the street, the garage shall comprise no more than twenty-five (25) percent of the total area of the front facade elevation of a dwelling, measured from ground level to the lower edge of the roof. A garage door facing a street shall not exceed a width of twelve (12) feet.
 - [4] The garage is side entry, such that garage doors are perpendicular or radial to the street that the front facade faces.
 - [5] Garages may only be attached if there is no space available to locate a detached garage in the side or rear yard due to constraints with topography, hydrology, geology, or woodlands.
 - (b) For single-family attached and other multi-family dwellings:
 - [1] The garage is rear entry, such that garage doors are on the opposite side of the house from the front facade, accessed from an alley.
 - [2] The garage is located behind the rear facade of the house. Such garage may be detached from or attached to the dwelling, and the garage doors may face any direction.
- (4) Where garages are accessed from an alley and a garage parking apron is provided perpendicular to the alley, such garage shall be eighteen (18) feet from the edge of the alley. Where garages are accessed from an alley and a garage parking apron is provided parallel to the alley, such garage shall be at least eight (8) feet from the edge of the alley.
- (5) Garage doors shall be a non-white color, unless the principal building is white in color for ninety percent (90%) or more of its siding.

C. Commercial

- (1) Parking shall be provided in accordance with §450-68, in addition to the requirements for permitted accessory uses.
- (2) No less than seventy-five percent (75%) of the off-street parking places shall be to the side or rear of the building.
- (3) Parking areas for shops and offices shall be located to the rear of the building they serve, but may, in some cases, be located to the side if screened from the street with appropriate walls, fencing or landscaping.
- (4) Parking areas shall be landscaped consistent with §450-47.C(8) and buffered where they abut adjoining residential lots.
- (5) No more than eight (8) consecutive parking spaces in a new off-street parking lot may be located side by side without being separated by a landscaped island or peninsula of at least eight (8) feet in width and eighteen (18) feet in depth. Parking lots of more than twenty (20) spaces shall be separated from other parking areas by a landscaped area at least twenty (20) feet in width.

D. Civic

- (1) The applicant shall demonstrate the provision of adequate parking for the various types of civic buildings in accordance with §450-68.C. Shared parking shall be encouraged for Civic uses.
- (2) No less than seventy-five (75) percent of the off-street parking spaces for civic buildings shall be to the side or rear of the building.
- (3) Parking may be located along Green Areas such as Village Greens, Civic Plazas & Squares, Pocket Parks, and Parklets when approved by West Bradford Township Board of Supervisors.

E. Public

- (1) The provisions of §450-50.D shall apply to public uses.

§450-51. OTHER REQUIREMENTS

- A. The Applicant is encouraged to submit a Sketch Plan which reflects compliance with all of the requirements in §450-46, Permitted Uses; §450-47, Area and Bulk Requirements; §450-48, Manual of General Design Guidelines; §450-49, Streets and Alleys; and §450-50, Parking. The Sketch Plan shall be in sufficient detail to demonstrate that the design requirements of these sections have been met.
- B. A detailed, Manual of Specific Design Guidelines shall be prepared and submitted by the Applicant, in accordance with §708-A of the Pennsylvania Municipalities Planning Code, whenever one (1) or more non-residential buildings and two (2) or more new residential buildings are proposed and site specific development is proposed.

§450-52. PROCEDURES

A. The regulations of Article VIII shall take precedence over other provisions of this chapter and Chapter 385, Subdivision and Land Development, to the extent this Article VIII specifies additional or modified requirements. Otherwise, all applicable sections of this chapter and Chapter 385, Subdivision and Land Development, shall apply. The provisions herein may be modified by the Board of Supervisors to allow relief whenever modifications to this Article are necessary where the applicant has demonstrated to the satisfaction of the Board that modification from these standards results in a better design and a pattern of development more fully in compliance with the objectives of this Article as determined by the Board of Supervisors, based upon the review and recommendation of the DRC.

B. Design Review Committee

- (1) The Design Review Committee (DRC) shall be involved throughout the TND Design and Approvals Process, and shall collaborate with Township Officials and Staff as outlined in Attachment 1, "TND-2 District Summary of Design and Approvals Process," (located at the end of this chapter), whenever a subdivision or land development is proposed, whenever demolition is proposed, and whenever an existing building or buildings are altered or enlarged. The Town Planner on the DRC shall be a Certified Planner with the American Institute of Certified Planners (AICP), and shall submit periodic reports on the degree to which the submissions are in compliance with Ordinance requirements.
- (2) The DRC shall review and comment on all submissions by the TND Applicant, particularly during the time when Sketch Plans and/or Preliminary Plans are submitted in order to provide comments early in the design process.
- (3) The DRC shall assist the Applicant with interpretations of the Manual of General Design Guidelines, especially in terms of the architectural design, neighborhood structure design (streets, alleys, lots, open spaces), and overall streetscape design.
- (4) The DRC shall meet regularly with the Applicant to provide advice and guidance. The DRC shall mark-up the work products submitted by the Applicant to illustrate alternative design solutions, where needed, in order to be consistent with the traditional diversity apparent in the Village of Marshallton relative to:
 - (a) the TND-2 District provisions and the Manual of General Design Guidelines;
 - (b) diversity of the massing, proportion, scale, height, color, texture, and detailing of buildings; and
 - (c) diversity in streetscape and neighborhood design.
- (5) The Applicant shall revise plans and drawings to be consistent with the marked-up documents created by the DRC.

- (6) The DRC shall report to the Township Planning Commission and Board of Supervisors on progress, issues, ideas, and/or problems.
- (7) The cost for consultants to the DRC shall be borne by the Applicant.
- (8) An Application may be denied on the basis of its failure to demonstrate consistency with the provisions of Article VIII, and in particular:
 - (a) A lack of interconnected streets.
 - (b) Buildings not located in close proximity to the streets.
 - (c) A lack of Green Areas and Open Space.
 - (d) A lack of On-Street Parking.
 - (e) A lack of Alleys.
 - (f) Development that is inconsistent with §450-48.A, Manual of General Design Guidelines.
 - (g) Development that does not exhibit consistency with the Area and Bulk Requirements of §450-47, the General Design Guidelines of §450-48, the Streets and Alleys requirements of §450-49, and the Parking requirements of §450-50.
- (9) If, during the phasing of the development, the Applicant seeks variations to approved Plans, the Applicant shall apply for a Variance.
- (10) If, during construction of a development the Applicant has varied from an Approved Plan, the Township may issue a Cease and Desist Order.

§450-53. DEMOLITION STANDARDS WITHIN THE TND-2 DISTRICT

- A. The Village of Marshallton is a listed National Register Historic District and a majority of its buildings and structures are contributing resources to that designation.
- B. Pursuant to the authority granted in the Pennsylvania Municipalities Planning Code, West Bradford Township seeks to promote, protect, and facilitate the preservation of the scenic and historic values by regulating demolition within the Traditional Neighborhood Development-2 (TND-2) Zoning District. This section shall provide for the protection of historic features and resources and promote and preserve areas of historical significance within the Village.
 - (1) The demolition of historic buildings or structures, or components thereof, shall be permitted within the TND-2 district when approved by special exception.

- (2) The demolition of non-historic buildings or structures shall be governed under the Township Ordinances adopting the Pennsylvania Uniform Construction Code (Ordinance 2004-02), as may be from time to time amended by the Township.
- (3) Upon the receipt of an application for demolition permit, the Township Zoning Officer, following consultation with the Design Review Committee, shall make a determination as to whether the structure or landmark shall be classified as a historic structure.
- (4) Special Exception Criteria: The applicant shall establish, by a clear preponderance of the evidence, that the following criteria are satisfied in addition to the provisions of §§450-63 and 450-82.C. The burden of proof shall be upon the applicant and not the Township or any adversely affected party.
 - (a) The structure is not listed on the National Register of Historic Places, is not eligible for listing on the Register, or is not considered a contributing resource to any eligible or listed Structure or the District.
 - (b) The proposed demolition will not substantially injure or detract from the use of the neighboring property(ies) or from the historical character of the Village.
 - (c) The circumstances for which the special exception is sought were neither created by the owner of the property or were not within his ability to prevent (e.g. benign neglect).
 - (d) The structure displays an architectural style, or non-removable elements, that are out of character with the surrounding structures or context of the Village as determined by the DRC.
 - (e) The structure(s) will be replaced with a structure(s) that are in character with the Village and comply with the requirements outlined in the Manual of General Design Guidelines for the TND-2 District as determined by the DRC.
 - (f) Any salvageable, characteristic elements will be removed from the structure and reutilized within the Village.
 - (g) The demolition is part of an adaptive reuse whereby other portions of the structure will be rehabilitated and reused.
 - (h) The structure will be available for cataloguing and photography by the Township Historical Commission prior to demolition.
 - (i) Explosives will not be used in the demolition, and heavy machinery will not be used where vibrations or debris may cause an impact upon neighboring properties. Where the previous conditions exist, the structure shall be disassembled by hand or by hand-machinery.
 - (j) The structure has been deemed an unsafe structure and deemed an imminent danger.

(k) The proposed demolition shall follow all rules and regulations of the West Bradford Township Property Maintenance Code.

(l) The foregoing shall apply to all structures that are visible from a public way.

SECTION 3. Article VIII, Traditional Neighborhood Development – 2 (TND-2), Attachment 1 – Exhibit A, TND-2 District Summary of Design and Approval Process, shall be amended in its entirety as set forth in 450 Attachment 1 attached hereto.

SECTION 4. The Manual of General Design Guidelines, Village of Marshallton: TND-2 District, last revised October 22, 2019, is hereby adopted in its entirety and shall replace all prior versions previously adopted by the West Bradford Township Board of Supervisors.

SECTION 5. Severability. If any sentence, clause, section or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

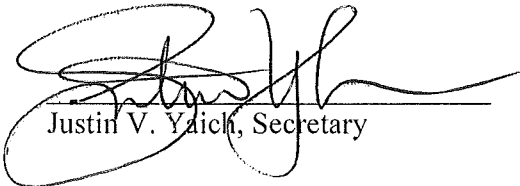
SECTION 6. Repealer. All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 7. Codification. General Code is hereby authorized to make non-substantive formatting and numbering changes necessary to clarify references to other sections of Township ordinances and/or codification and to bring the Ordinance into conformity with Township ordinances/codification.

SECTION 8. Effective date. This Ordinance shall become effective as provided by law and shall remain in force and effect unless otherwise amended by the Township.

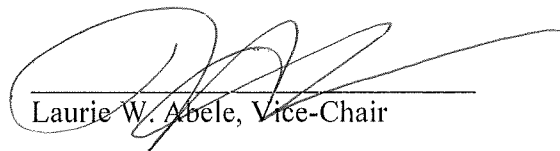
ENACTED AND ADOPTED by the Board of Supervisors this 10th day of December, 2019.

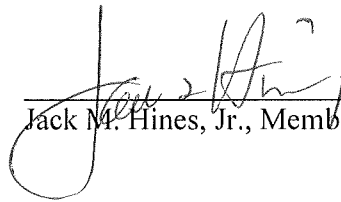
ATTEST:


Justin V. Yaich, Secretary

**WEST BRADFORD TOWNSHIP
BOARD OF SUPERVISORS**


William R. Christman, III, Chairman


Laurie W. Abele, Vice-Chair



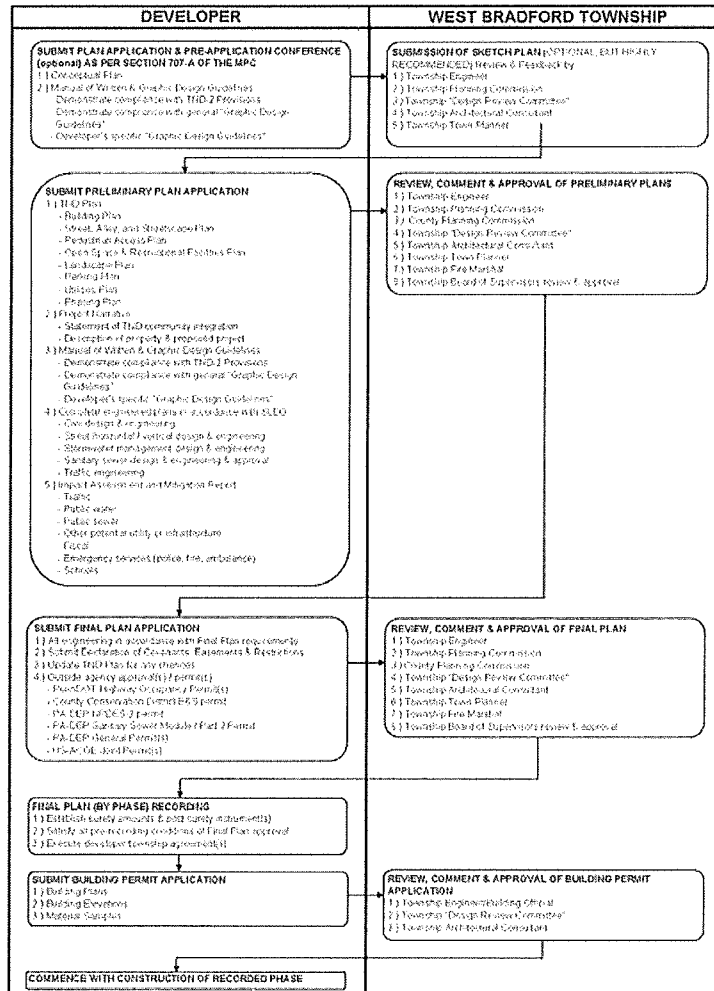
Jack M. Hines, Jr., Member

ZONING

450 Attachment 1

Township of West Bradford Chester County, Pennsylvania

TND-2 District Summary of Design and Approvals Process



450-48.A.

Manual of General Design Guidelines

West Bradford Township, Chester County, Pennsylvania



Village of Marshallton: TND-2 District

A companion document to Article VIII: Traditional Neighborhood Development - 2 (TND 2) of the West Bradford Township Zoning Ordinance, providing Written and Graphic Design Guidelines to complement Section 450-48. "General design guidelines" of Article VIII.

September 2, 2005

Adopted: December 13, 2005

Proposed Amendments: November 26, 2008

Proposed Amendments Revised: March 11, 2009

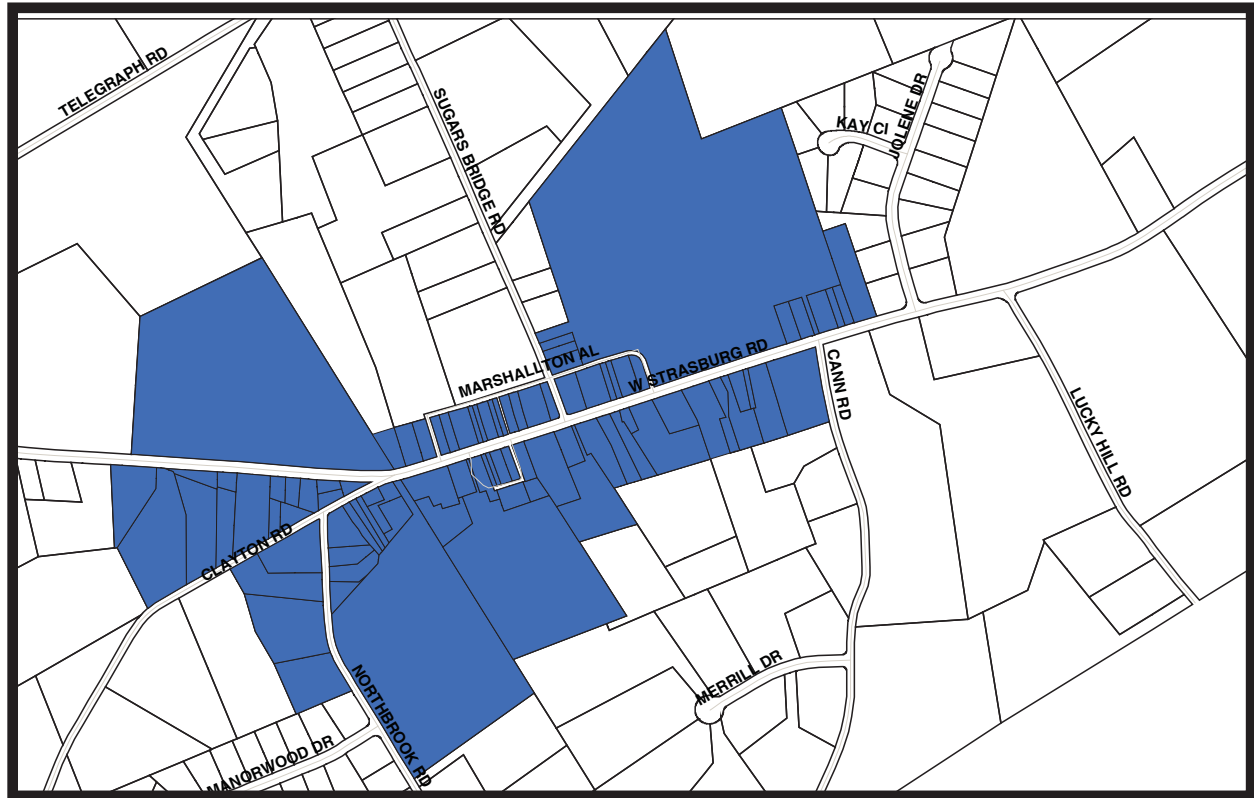
Adopted: November 24, 2009

**Proposed Amendments Revised: August 30, 2018; March 5, 2019; May 7, 2019; June 4, 2019;
July 31, 2019; September 10, 2019; October 1, 2019; October 8, 2019;
October 9, 2019; October 22, 2019**

450-45.A.

Manual of General Design Guidelines

West Bradford Township, Chester County, Pennsylvania



Village of Marshallton: TND-2 District

Prepared by:

Thomas Comitta Associates, Inc.
Town Planners & Landscape Architects

September 2, 2005

Adopted: December 13, 2005

Proposed Amendments: November 26, 2008

Proposed Amendments Revised: March 11, 2009

Adopted: November 24, 2009

**Proposed Amendments Revised: August 30, 2018; March 5, 2019; May 7, 2019; June 4, 2019;
July 31, 2019; September 10, 2019; October 1, 2019; October 8, 2019;
October 9, 2019; October 22, 2019**

TABLE OF CONTENTS	Page No.
450-48.A.1. Introduction	1
450-48.A.2. Applicability	2
Streetscape Guidelines	i
450-48.A.3. Alley	3
450-48.A.4. Curbs	4
450-48.A.5. Curb Cuts	5
450-48.A.6. Gateway Features	6
450-48.A.7. Parking: On-Street	7
450-48.A.8. Sidewalks	8
450-48.A.9. Street Lights	9
450-48.A.10. Street Trees	10
Site Design Guidelines	ii
450-48.A.11. Building Location	11
450-48.A.11.1. Blocks	11.1
450-48.A.12. Build-to-Line/ Setbacks	12
450-48.A.12.1. Building Massing on Lots	
450-48.A.13. Hedges, Fences and Walls	13
450-48.A.14. Landscaping	14
450-48.A.15. Parking: Off-Street	15
450-48.A.16. Signage	16
450-48.A.17. Street Furniture	17
450-48.A.18. Utilities	18
450-48.A.19. Green Areas (Village Green; Civic Plazas and Squares; Pocket Parks; Green Court)	19
Building Design Guidelines	iii
450-48.A.20. Accessory Buildings and Structures	20
450-48.A.21. Adaptive Reuse of Buildings	21
450-48.A.22. Alterations and Additions to Existing Buildings	22
450-48.A.23. Building Design	23
450-48.A.24. Building Facades	24
450-48.A.25. Building Heights	25
450-48.A.26. Building Materials	26
450-48.A.27. Building Scale/Size/Proportion	27
450-48.A.28. Fenestration	28
450-48.A.29. Front Doors/ Entryways	29
450-48.A.30. Porches and Stoops	30
450-48.A.31. New Buildings	31
450-48.A.32. Garage Doors	32
Appendix of Specialized Subjects	A.1
A.2 Context Sensitive Uses	A.2
A.3 Demolition	A.3
A.4 Rehabilitation of Buildings: The Secretary of the Interior's Standards for Rehabilitation	A.4
A.5 Definitions	A.5
A.6 Excerpts of "Get Your House Right", by Marianne Cusato & Ben Pentreath, 2007	A.6

450-48.A.1. Overall Purpose & Intent

The Overall Purpose of this Manual of General Design Guidelines is to: Integrate the formation of Exterior Spaces through the proximity of Buildings, Built Elements, and Landscape Forms and Features in order to Prioritize the Pedestrian Experience.

This Manual of General Design Guidelines relates to the Zoning Ordinance Amendment originally adopted by the West Bradford Township Board of Supervisors on December 13, 2005 which created the Traditional Neighborhood Development-2 (TND-2) District in the Village of Marshallton. The Intended Purpose of the TND-2 District is as follows:

450-48.A.1.a. Encourage the continuation of the traditional character and land use pattern of the Village of Marshallton, as enabled by Article VII-A of the Pennsylvania Municipalities Planning Code titled Traditional Neighborhood Development.

450-48.A.1.b. Promote adaptive reuse of buildings in Marshallton, to the maximum extent possible.

450-48.A.1.c. Discourage the demolition of existing viable buildings.

450-48.A.1.d. Promote Traditional Neighborhood Development that is compact and context sensitive, whenever new development or redevelopment takes place.

450-48.A.1.e. Encourage development and redevelopment to be in keeping with the scale, height, proportions, and overall pattern of the traditional village setting.

450-48.A.1.f. Help to ensure compliance with the goals of the Comprehensive Plan and promote innovative designs that contribute to the Village character.

450-48.A.1.g. Create a solid to void ratio of buildings along the streetscape to promote light, air, visual enjoyment, and placement, in context with existing Village buildings.

450-48.A.1.h. Create a context-sensitive composition of buildings along the streetscape to promote the effective placement of buildings.



Village of Marshallton

450-48.A.1.i. Be consistent with the Comprehensive Plan of 2009, and any updates thereto, relative to the protection of historic and scenic values of the Village.

450-48.A.1.j. Be consistent with “Creating Connections: Country Paths & Village Sidewalks – A Greenways, Trails, and Gateways Plan for West Bradford Township”, dated June 22, 2004, and any updates thereto.

450-48.A.1.k. Be consistent with the Open Space, Recreation, and Environmental Resources Plan of West Bradford Township, dated 1993, and any updates thereto, relative to complementing the village pattern, promoting pedestrian circulation to reinforce the community character, and protecting historic resources.

450-48.A.1.l. Beautify and enhance the streetscape with such features as sidewalks, crosswalks street trees, street lights, and signage consistent with the Village setting.

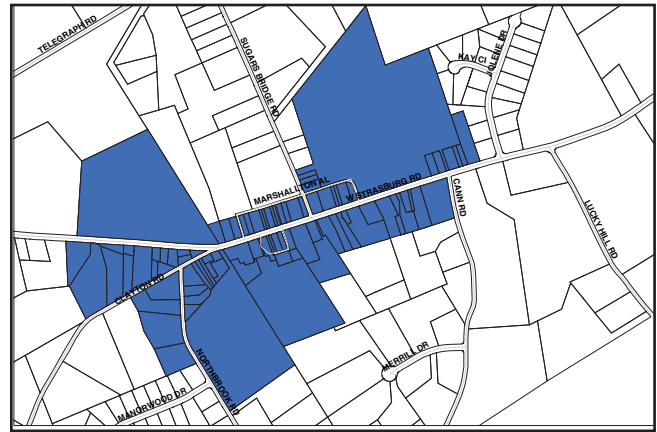
450-48.A.1.m. Discourage larger footprint and larger volume buildings that would be disruptive to the character and ambience of the Village and increase impervious areas.

450-48.A.1.n. This Manual of Design Guidelines is intended to be a general guide for development and redevelopment under Article VIII, the TND-2 District. A more detailed, “Specific Manual of Design Guidelines” shall be prepared by Applicants according to Section 450-45.E. and Section 450-48. of the TND-2 District Ordinance, and Building Design Section of these Design Guidelines.

450-48.A.2

Applicability of General Design Guidelines

450-48.A.2.a. This Manual of General Design Guidelines, including “Get Your House Right”, especially the excerpts in the Appendix starting on page A.6., applies to all properties shown on the Township Zoning District Map with the designation of TND-2. This Manual is a companion to Article VIII – Traditional Neighborhood Development TND-2 District.



TND-2 Map

450-48.A.2.b. This Manual of General Design Guidelines applies to all Subdivision and Land Development applications within the TND-2 District. However, whenever one (1) or more non-residential buildings, and two (2) or more new residential buildings are proposed, a detailed “Specific Manual of Design Guidelines” shall be prepared and submitted by the Applicant for the site.

450-48.A.2.c. The detailed “Specific Manual of Design Guidelines”, prepared by the applicant, shall describe and illustrate the specific Streetscape, Site Design, and Building Design Guidelines that will apply to a specific project, in accordance with Article VIII of the TND-2 District Ordinance.

450-48.A.2.d. Throughout this document the word “shall” is a requirement, and the word “should” is a preferred option desired by the Township.

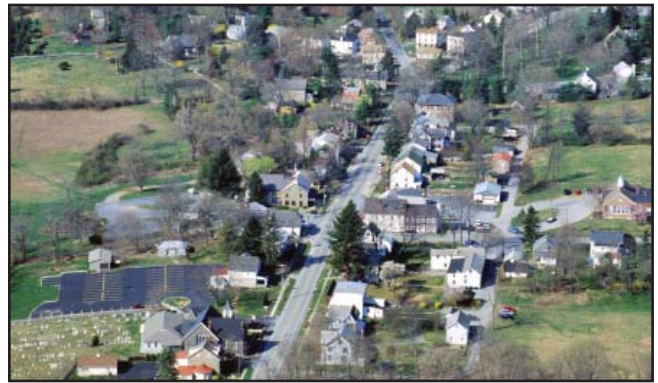
450-48.A.2.e. The Procedures for the review of proposed Design Guidelines shall be in accordance with Section 450-52. of the West Bradford Township Zoning Ordinance.

450-48.A.2.f. This Manual shall also apply to the redevelopment of lots, as well as development and changes to existing building or buildings when it involves the requirement for a building permit and changes to an existing building or buildings involving features addressed in this Manual of General Design Guidelines, excluding repairs.

Streetscape Guidelines

The Streetscape of the Village of Marshallton is the public space within which buildings are placed close to the street and features such as facades, porches, shopfronts, street trees, street lights, sidewalks, picket fences, low walls, and awnings contribute to a cohesive character. The Streetscape is one of the most important elements of the Village of Marshallton as it frames the view from the road.

The Streetscape is the most visible aspect of the public realm and improves the pedestrian experience throughout the Village. Therefore, all elements that are added to the Streetscape shall enhance, not detract from, the charm and character of the Village.



Marshallton Village Streetscape

Elements addressed in this Section include:

- 450-48.A.3.** Alley
- 450-48.A.4.** Curbs
- 450-48.A.5.** Curb Cuts
- 450-48.A.6.** Gateway Features
- 450-48.A.7.** Parking On-Street
- 450-48.A.8.** Sidewalks
- 450-48.A.9.** Street Lights
- 450-48.A.10.** Street Trees

450-48.A.3. Alley

Manual of General Design Guidelines
West Bradford Township: TND-2 District



Alley of old Grange



Alley at Old Grange

Legislative Intent

450-48.A.3.a. The Alley allows for the preservation of the frontage streetscape, by precluding the need for curb cuts along the frontage.

450-48.A.3.b. The Alley provides vehicular access to parking in the rear of lots.

Guidelines and Best Practices

450-48.A.3.c. An interconnected network of streets and alleys shall be created, wherever new streets are constructed.

450-48.A.3.d. An alley width of at least 16 feet shall be constructed and maintained, in order to qualify for Liquid Fuel Funds from the State.

450-48.A.3.e. All existing Alleys in the Village shall be maintained.

450-48.A.3.f. New alleys shall be paved.



Alley at western end of Village



Alley Access to Parking

450-48.A.4. Curbs

Manual of General Design Guidelines

West Bradford Township: TND-2 District



ADA Accessible Curb Cut at Crosswalk



ADA Accessible Curb Cut

Legislative Intent

450-48.A.4.a. Curbs help to contain the sidewalk above on- street parking lanes and shoulders, thereby providing pedestrians and vehicles distinct spaces.

450-48.A.4.b. Curbs help to channel vehicular circulation.

450-48.A.4.c. Curbs provide opportunities to divert and channelize drainage.

Guidelines and Best Practices

450-48.A.4.d. Curbs shall be installed and maintained on Strasburg Road along all sidewalks.

450-48.A.4.e. Concrete curbs shall be installed and maintained with at least a 4.5" vertical reveal along Strasburg Road.

450-48.A.4.f. Flush concrete curbs shall be installed and maintained at all curb cuts, along Strasburg Road.

450-48.A.4.g. Belgium Block curbs shall be installed and maintained on internal streets, subject to Township approval.

450-48.A.4.h. Flush Belgium Block curbs shall be installed and maintained at curb cuts on internal streets.

450-48.A.4.i. Handicapped curb cuts shall be installed and maintained at all street intersections.

450-48.A.4.j. Curbing to channel drainage shall be installed and maintained.



Belgium Block Curbing



Curb, Sidewalk, and Shoulder

450-48.A.5. Curb Cuts

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Curb Cut for Alley

Legislative Intent

450-48.A.5.a. Curb cuts trigger the need for left turn lanes across oncoming traffic flow.

450-48.A.5.b. Mid- block curb cuts should be minimized to reduce conflicting vehicular traffic movements.

450-48.A.5.c. Curb cuts are typically not needed when Alleys are constructed and maintained.



Wide Curb Cut for Restaurant

Guidelines and Best Practices

450-48.A.5.d. New mid- block curb cut shall be prohibited

450-48.A.5.e. Properties shall be accessed from existing curb cuts, driveways, streets, and alleys.

450-48.A.5.f. Corner properties shall be accessed from existing side streets and alleys.

450-48.A.5.g. Curb cuts shall be installed and maintained for ADA accessibility at street intersections.

450-48.A.5.h. New Alleys shall be installed and maintained to minimize curb cuts along a frontage street.

450-48.A.5.i. Excessively wide existing curb cuts shall be narrowed in order to enhance vehicular access management.



Narrow Curb Cut for Residence

450-48.A.6. Gateway Features

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Village Gateway Sign



Eastern Gateway Crosswalk

Legislative Intent

450-48.A.6.a. The Gateway Features of the Village help to provide orientation and enhance wayfinding.

450-48.A.6.b. Gateway Features can send the message that you are entering a special place.

450-48.A.6.c. Gateways create a “sense of place” and beautify the streetscape.

Guidelines and Best Practices

450-48.A.6.d. Gateway features shall be installed and maintained along the east and west ends of Strasburg Road.

450-48.A.6.e. Features such as signage, street lights, street trees, plantings, crosswalks, piers, bollards, sculpture, and banners shall be installed and maintained at Gateways.



Western Gateway



Gateway Pier in Western Gateway Area

450-48.A.7. Parking: On-Street

Manual of General Design Guidelines

West Bradford Township: TND-2 District



On-Street Parking along Strasburg Road



On-Street Parking with Brick Paving

Legislative Intent

450-48.A.7.a. On- street parking is needed where homes and businesses are not served by driveways or alleys.

450-48.A.7.b. On- street parking spaces help to buffer fast moving vehicles from pedestrians on the sidewalk.

Guidelines and Best Practices

450-48.A.7.c. On-street parking shall be installed and maintained along alternating sides of new streets to the maximum extent possible.

450-48.A.7.d. “End lines” shall be line striped every 22 feet for parallel, on-street parking.

450-48.A.7.e. On-street parking bays shall be 7 feet in width.

450-48.A.7.f. On-street parking with loading / unloading zones or new curb cuts shall not be eliminated.

450-48.A.7.g. Brick paving for on-street parking shall be installed and maintained where possible.

450-48.A.7.h Curb bulbouts/planted areas shall be installed and maintained where possible to enhance on-street parking, and create scuppers for drainage along curb lines to help channel stormwater.



On-Street Parking Area with Brick Paving

450-48.A.8. Sidewalks

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Brick Sidewalk/Walkway

Legislative Intent

450-48.A.8.a. Sidewalks add to the pedestrian vitality of the Village.

450-48.A.8.b. Sidewalks are critical on both sides of the street.



Brick Sidewalk Detail

Guidelines and Best Practices

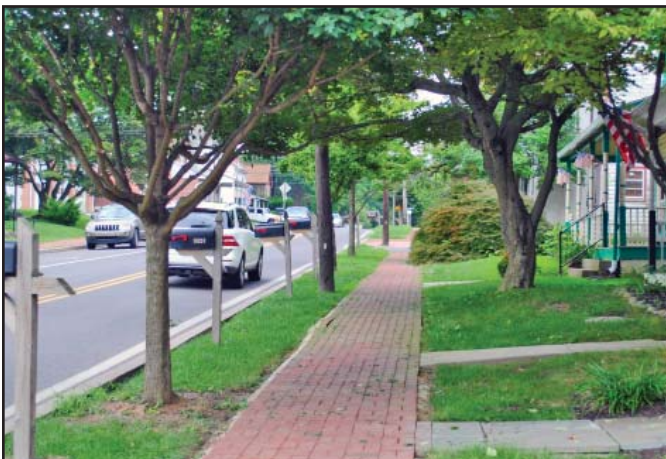
450-48.A.8.c. Existing sidewalks shall be maintained on both sides of the street.

450-48.A.8.d. New brick sidewalks at a minimum width of 4 feet, 6 inches (4'-6") shall be installed and maintained.

450-48.A.8.e. Sidewalk material shall be continuous across curb cuts to emphasize pedestrian continuity.

450-48.A.8.f. All sidewalks shall have positive drainage.

450-48.A.8.g. Vegetation shall be planted and maintained so as to not encroach on sidewalks.



Tree-lined Sidewalk providing shade for pedestrians



Brick Sidewalk

450-48.A.9. Street Lights

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Street Lights at residence along Strasburg Road



Street Light at residence along lane to Bradford Friends Meeting

Legislative Intent

450-48.A.9.a. Pedestrian scaled street lights can provide an attractive accent to the nighttime streetscape.

450-48.A.9.b. Street lights can accent gateways.

450-48.A.9.c. Street lights can help to define the Village at night, and help to provide safety for pedestrians and motorists.

Guidelines and Best Practices

450-48.A.9.d. Ornamental pedestrian scaled street lights shall be installed and maintained on both sides of new streets at intervals of 100 feet. The interval between Streetlights may be modified based upon recommendations by the Design Review Committee, relative to spacing considerations pertaining to site conditions.

450-48.A.9.e. The height of ornamental street lights shall be a maximum of 16 feet.

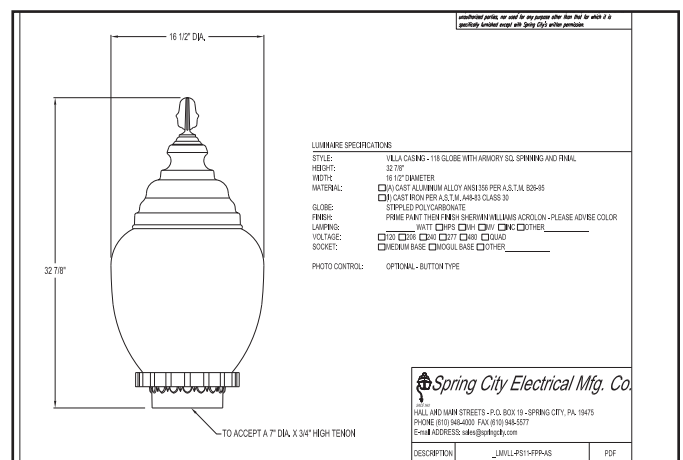
450-48.A.9.f. The luminaire shall be installed and maintained to limit light migration, glare and pollution.

450-48.A.9.g. Sodium lamps that produce a yellow-orange light shall not be permitted.

450-48.A.9.h. The use of varied posts and luminaire styles shall be encouraged for private residential street lights.



Spring City Company Luminaire (Villa model) to be utilized along the Streetscape



Spring City Company Luminaire (Villa model)

450-48.A.9. Street Lights (cont.)

Manual of General Design Guidelines
West Bradford Township: TND-2 District

This drawing is property of Spring City Electrical Mfg. Co. and is loaned to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

LUMINAIRE SPECIFICATIONS

STYLE:	WASHINGTON LED
HEIGHT:	44"
WIDTH:	16 1/2" DIAMETER
MATERIAL:	CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
FINISH:	POWDER COAT - RIVER TEXTURE GLOSS BLACK
GLOBE:	CLEAR STIPPLED ACRYLIC
LAMPING:	60 WATT LED
VOLTAGE:	ELECTRONIC 120-277 VOLTS
COLOR TEMP:	3000K (WARM WHITE)
DISTRIBUTION:	TYPE III (ASYMMETRIC)
SURGE:	10KV
CATALOG NO.:	ALMWSH-LE060/EV/X2-30-CR3-YS11-FPA-CU

LAMP POST SPECIFICATIONS

STYLE:	WASHINGTON WITH DC TOP
HEIGHT:	12'-0"
PHOTOMETRIC CENTER:	14'-0"
BASE:	17" DIAMETER
MATERIAL:	ONE PIECE, CAST DUCTILE IRON PER A536-84 GRADE 65-45-12
FINISH:	POWDER COAT - RIVER TEXTURE GLOSS BLACK
ACCESS DOOR:	ACCESS DOOR LOCATED IN BASE WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS
GROUND PROVISIONS:	DRILL AND TAP INSIDE WALL OF BASE OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)
ANCHOR BOLTS:	(4) 3/4" X 24" X 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)
BOLT PROJECTION:	3" REQUIRED
TENON:	3 1/2" DIA. X 3" HIGH (TO ACCEPT LUMINAIRE)
CATALOG NO.:	DPSWSH-17-12.00-TN3.503.00-DC-CU

WARRANTY INFORMATION:

ONE PIECE CAST DUCTILE IRON BASE PROTECTED BY SPRING CITY'S 25 YEAR WARRANTY.

SPRING CITY WARRANTIES ITS DUCTILE IRON BASES TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 25 YEARS. NORMAL USE INCLUDES DAMAGE RESULTING FROM MOTOR VEHICLE COLLISIONS.

LED LUMINAIRE, LED DRIVER, AND LED ARRAYS PROTECTED BY SPRING CITY'S 10 YEAR WARRANTY

SPRING CITY WARRANTIES ITS LED LUMINAIRE, LED DRIVER, AND LED ARRAYS TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 10 YEARS. A SINGLE LED FAILURE SHALL BE REPLACED UNDER THE WARRANTY TERMS.

PLEASE WWW.SPRINGCITY.COM FOR FULL WARRANTY DETAILS.

PLEASE NOTE: PRODUCT MUST MEET PENN DOT PUBLICATION 408 AND BULLETIN 15 STANDARDS AND REQUIREMENTS

Spring City Electrical Mfg. Co.
HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19478
PHONE (610) 948-4000 - FAX (610) 948-5877 - WWW.SPRINGCITY.COM

DESCRIPTION			
CUSTOMER			
JOB			
SCALE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	W.R.W.	07-05-18	S104301

450-48.A.9.i. Street Lights shall be “Washington” model LED Luminaire from Spring City Electrical Mfg. Co. in a black finish, or approved equal.

450-48.A.10. Street Trees

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Street Trees along Strasburg Road

Legislative Intent

450-48.A.10.a. Street Trees provide shade, add a vertical scale element to the streetscape, and beautify the public realm.

450-48.A.10.b. Deep-rooted, stress tolerant Street Trees have a longer survival rate.

450-48.A.10.c. The Village historically has large deciduous Street Trees along its main thoroughfares, mixed with newer smaller Street Trees.



Street Trees along Sidewalk

Guidelines and Best Practices

450-48.A.10.d. Existing Street Trees shall be maintained in the TND-2 District.

450-48.A.10.e. Street Trees shall be installed and maintained at an average interval of 35 feet on both sides of Strasburg Road, where there are no existing Street Trees.

450-48.A.10.f. Street Trees shall be installed and maintained along all new streets.

450-48.A.10.g. Species included in Appendix E.1. of the West Bradford Township Subdivision and Land Development Ordinance, such as: 1) *Acer rubrum* - Red Maple; 2) *Platanus acerifolia* - Sycamore; and/or 3) *Quercus rubra* - Red Oak, shall be installed and maintained:

450-48.A.10.h. Section 385-70 of the Township SLDO regarding Street Trees shall be followed.

450-48.A.10.i. Within the TND-2 District, Street Trees may be placed within the right-of-way between the curb and sidewalk where space permits.



Street Tree along Sidewalk



Street Tree at the Four Dogs Tavern

Site Design Guidelines

The overall form of the Village of Marshallton derived from three overarching elements:

1. The Streetscape;
2. Site Design; and
3. Building Design.

This Site Design section pertains to lots outside of the right-of-way of existing and proposed streets and roads.

The Site Design Guidelines are intended to promote place-making and the continued sense of place of Marshallton.



Pocket Park

Elements addressed in this Section include:

- 450-48.A.11.** Building Location
- 450-48.A.11.1.** Blocks
- 450-48.A.12.** Build-To Line/Setbacks
- 450-48.A.12.1.** Building Massing on Lots
- 450-48.A.13.** Hedges, Fences and Walls
- 450-48.A.14.** Landscaping
- 450-48.A.15.** Parking: Off-Street
- 450-48.A.16.** Signage
- 450-48.A.17.** Street Furniture
- 450-48.A.18.** Utilities
- 450-48.A.19.** Green Areas: (Village Green; Civic Plazas & Squares; Pocket Parks; and Green Courts)

450-48.A.11. Building Location

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Building anchors corner and abuts the Sidewalk



Building and Porch located close to Sidewalk and Street

Legislative Intent

450-48.A.11.a. Existing buildings in the Village are located close to the streets and sidewalks.

450-48.A.11.b. Buildings located close to the street and sidewalk help to anchor corners, and form the Streetscape character of the Village.

Guidelines and Best Practices

450-48.A.11.c. Buildings shall be located close to the sidewalk and street, in alignment with existing buildings at a Build-To Line.

450-48.A.11.d. New buildings shall be located in alignment with existing buildings at a Build-To Line.

450-48.A.11.e. Porches, porticos, colonnades, stoops, and the like shall be built and maintained, as a transition element from the principal building structure to the public realm of the Streetscape.

450-48.A.11.f. Enclosed porches shall not be allowed for the front porch of any structure.



Buildings along Sidewalk define the Streetscape edge



Building with front porch as transitional element

450-48.A.11.1. Blocks

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Existing Block with normative length and depth

Legislative Intent

450-48.A.11.1.a. New development is intended to emulate the existing block characteristics of the Village.

450-48.A.11.1.b. New development is intended to emulate the pattern of the existing Village with a range of 4 to 7 buildings per block.

Guidelines and Best Practices

450-48.11.1.c. Blocks shall be created with a maximum length of 560 feet with a maximum of 7 buildings, and a minimum length of 350 feet with a maximum of 5 buildings.

450-48.11.1. d. Blocks shall be a minimum 140 feet in depth, and a maximum of 250 feet in depth.



Existing Block with normative length and 4 dwellings

450-48.A.12. Build-To Line/Setback

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Normative Build-To Line



Buildings in alignment

Legislative Intent

450-48.A.12.a. Many of the existing buildings in the Village are located within 15 to 22 feet from the curbline.

450-48.A.12.b. Shallow setbacks help to provide the “outdoor room” character of Marshallton.

Guidelines and Best Practices

450-48.12.c. Setbacks of existing Historical buildings shall be maintained.

450-48.12.d. The predominant existing building setbacks shall be emulated.

450-48.12.e. Buildings shall be located along new streets within 15 to 22 feet from the curbline, except Green Court lots which shall be 50 to 65 feet from the curbline.

450-48.12.f. Streetscape features within the Setback such as curbing, grass strip, street trees, sidewalks, street lights, stonewalls, and fencing shall be permitted.



Shallow Front Yard Setback



Traditional Build-To Line

450-48.A.12.1. Building Massing on Lots

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Buildings located with proportional setback from curbline



Building proportional setback from curbline

Legislative Intent

450-48.A.12.1.a. Buildings are intended to be sited in proportion to the lot widths and setbacks, without creating an imposing presence.

450-48.A.12.1.b. Buildings are intended to have varied side yards in order to emulate the massing of existing buildings in the Village.

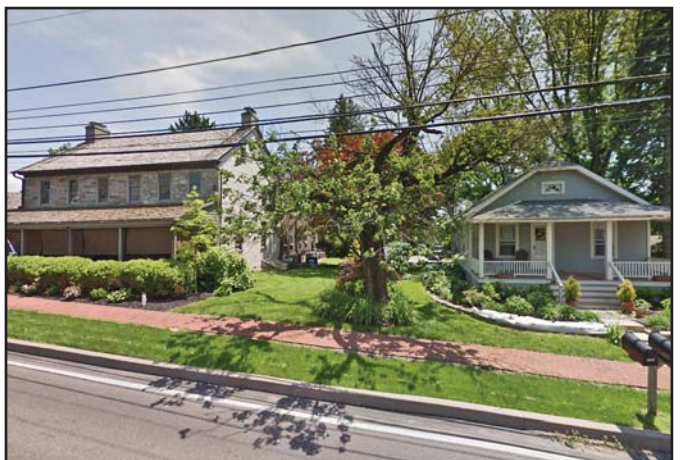
Guidelines and Best Practices

450-48.A.12.1.c. New buildings shall reflect the normative locational characteristics of existing buildings relative to scale, proportion, pattern, variety, and setbacks, as specified in other sections of these Design Guidelines.

450-48.A.12.1.d. New buildings shall have side yard setbacks in accordance with §450-47.



Buildings with varied side yards



Buildings in scale and proportion with Village setting

450-48.A.13. Hedges, Fences and Walls

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Stone Wall in Front Yard



Fence along Streetscape

Legislative Intent

450-48.A.13.a. Hedges, fences and low walls provide attractive edges to spatial definition along the streetscape.

450-48.A.13.b. These features can serve as a type of street wall edge, especially when buildings are not located close to the sidewalk.

Guidelines and Best Practices

450-48.A.13.c. Existing hedges, fences and walls in the Village shall be maintained.

450-48.A.13.d. Additional hedges, fences and walls beyond the street right-of-way line, shall be installed and maintained to strengthen the streetscape character, especially whenever buildings cannot be placed at a Build-to line.

450-48.A.13.e. Whenever off- street parking areas located adjacent to the streetscape, are provided for 5 or more vehicles, it shall be screened by a pier, fence, hedge/landscaping combination, or wall of at least 36 inches in height.



Parking Screened by pier and landscaping combination



Stone Wall along Sidewalk

450-48.A.13. Hedges, Fences and Walls (continued)

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

450-48.A.13.f. Masonry walls, whether stone or brick, or a combination thereof, shall be designed to reflect patterns and styles of existing walls in the Village.

450-48.A.13.g. Walls shall be appropriate to the architectural style of the building on the property.

450-48.A.13.h. When visible from a public right-of-way, retaining walls shall be constructed of stone or brick.

450-48.A.13.i. Whenever picket fences are installed, they shall be compatible in design to existing picket fences.

450-48.A.13.j. Whenever hedges are installed, they shall be Privet, Upright Yews or Upright Holly.

450-48.A.14. Landscaping

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Landscaping complementing Sidewalk and Wall



Landscaping complementing Building and Streetscape

Legislative Intent

450-48.A.14.a. Landscaping adds beauty to the streetscape and softens the appearance of the Village.

450-48.A.14.b. Landscaping helps to define and articulate the yard

Guidelines and Best Practices

450-48.A.14.c. Existing attractive landscaping shall be maintained to promote the beauty of Marshallton, and replace any plants that have died or are otherwise degraded.

450-48.A.14.d. Plants shall be installed and maintained to further complement buildings, sidewalks, entry courts, parking areas, and pedestrian areas.

450-48.A.14.e. A massing and layering of plants shall be provided in order to create a unified appearance, and a variation in plant size and texture.



Massing and Layering of Plants



Landscaping complementing Pocket Park

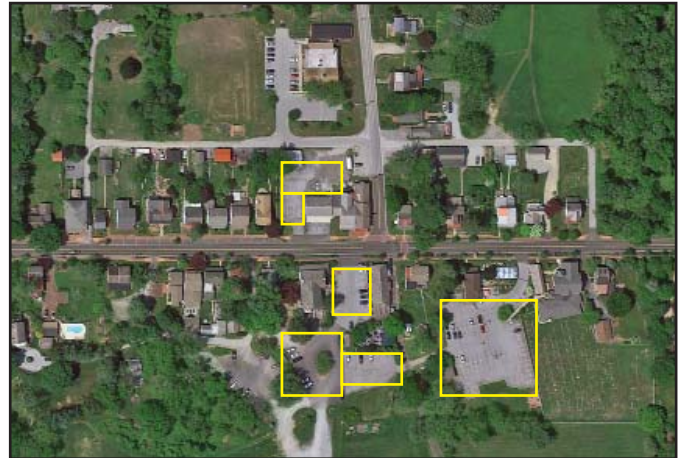
450-48.A.15. Parking: Off-Street

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Off-Street parking located to the side of the building



Off-Street Parking located to the rear and side of buildings

Legislative Intent

450-48.A.15.a. Off-street parking is necessary to accommodate business patrons, shop and store owners, and restaurants.

450-48.A.15.b. Off-street parking should be located to the side of or rear of buildings, to promote the traditional character of the Village.

Guidelines and Best Practices

450-48.A.15.c. All new off-street parking shall be located to the side of or rear of buildings.

450-48.A.15.d. New off-street parking in front of buildings shall not be created.

450-48.A.15.e. Off-street parking areas located adjacent to the streetscape, for 5 or more vehicles, shall be screened by a pier, fence, hedge/landscaping combination, or wall of at least 36 inches in height

450-48.A.15.f. Shared parking shall be provided where feasible to promote mixed-use opportunities.

450-48.A.15.g. If the lot depth or lot width is not sufficient to provide a detached garage, or if there are topographic, hydrologic, geologic, or woodland constraints, an attached or integral garage connected to the dwelling unit with a minimum 5 foot set back from the front facade of the dwelling, may be provided.



Off-Street Parking with required setback when rear yard parking is not feasible

450-48.A.16. Signage

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Historic Marker Sign



Well designed sign at Marshalton Inn

Legislative Intent

450-48.A.16.a. Well designed signage provides a distinctive appearance and promotes the historic character of the Village.

450-48.A.16.b. Signs should be designed to be in scale with buildings and the pedestrian environment.

Guidelines and Best Practices

450-48.A.16.c. Existing signage that is in scale and character with the Village shall be maintained.

450-48.A.16.d. Freestanding signs that could create visual clutter shall be minimized. Freestanding signs shall be at least 30 feet apart.

450-48.A.16.e. Signs shall be subordinate to the building. Wood and metal are the preferred materials for sign construction.

(continued on page 16.1.)



Business Sign



Civic Sign

450-48.A.16. Signage (continued)

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

450-48.A.16.f. Signs may be illuminated with soft, indirect light. Back lighting shall not be used.

450-48.A.16.g. The shape of the sign shall relate to the architectural style of the building or incorporate elements of such style.

450-48.A.16.h. Lettering shall combine easy readability with good visibility.

450-48.A.16.i. Colors used in sign design and construction shall relate to and blend with colors on the building as well as with immediately adjacent buildings.

450-48.A.16.j. Signs shall not be attached to buildings in ways that interfere with or destroy important architectural details.

450-48.A.16.k. Signs that have a quaint, historical flair are preferred.

450-48.A.17. Street Furniture

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Bench at Marshalton Inn Pocket Park



Outdoor Dinning Area

Legislative Intent

450-48.A.17.a. Benches and other street furniture provide attractive pedestrian scaled streetscape elements.

Guidelines and Best Practices

450-48.A.17.b. Existing outdoor benches and seating at business establishments shall be maintained.

450-48.A.17.c. Benches shall be installed and maintained wherever feasible such as in Green Areas, along walkways, and in pedestrian gathering areas.

450-48.A.17.d. Container plantings shall be installed and maintained to beautify the Village, such as planters, urns, window boxes and the like.

450-48.A.17.e. Non-uniform street furniture is desirable.



Benches and Street Furniture in Green Space



Urn with Flowers

450-48.A.18. Utilities

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Existing Utility Poles with overhead electrical wires



Existing Utility Poles along Sidewalk

Legislative Intent

450-48.A.18.a. Overhead utility wires degrade the visual quality of the Village.

Guidelines and Best Practices

450-48.A.18.b. All new utilities shall be installed underground.

450-48.A.18.c. Existing overhead wires shall be relocated to alleys where feasible.

450-48.A.18.d. HVAC equipment, generators, cable boxes, and other like type infrastructure shall be screened.



Existing Utility Poles and Wires along Strasburg Road



Existing Utility Pole and Wires at Strasburg and Northbrook Roads

450-48.A.19 Green Areas: Village Green

Manual of General Design Guidelines

West Bradford Township: TND-2 District



The Wyndcrest TND Neighborhood (Sandy Springs, MD) has two beautiful Village Greens, one at the Entrance, a one in the Center of Clustered Dwellings

Legislative Intent

450-48.A.19.a. The Village Green is intended to be an attractive Gateway feature of the TND-2 District.

Guidelines and Best Practices

450-48.A.19.b. A Village Green shall be built and maintained whenever a two (2) acre tract is developed.

450-48.A.19.c. Whenever a Village Green is proposed, it shall be at least 3,500 square feet in area.



Single-Family Detached and Attached Homes Clustered around the Village Green

450-48.A.19. Green Areas: Village Green (continued)

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Kentlands Village Green, Gaithersburg, MD



Village Green at Lantern Hill, Doylestown, PA

Legislative Intent

450-48.A.19.d. The Village Green is intended to provide a viable space around which buildings can be grouped in a TND.

Guidelines and Best Practices

450-48.A.19.e. Village Greens shall be installed and maintained as level areas, not to exceed 5% slope.

450-48.A.19.f. Village Greens shall be embellished with benches, gazebos, pavilions, plantings, gardens, lighting, and the like.



Village Green at Ship Carpenter Square - Lewes, Delaware

450-48.A.19. Green Areas: Civic Plazas & Squares

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Oglethorpe Square, Savannah, GA



Civic Plaza with Pergola at Georgetown Square, Cranberry Township, PA

Legislative Intent

450-48.A.19.g. A Civic Plaza and Square is intended to be a primarily rectilinear or squared open space amenity within a TND.

Guidelines and Best Practices

450-48.A.19.h. Whenever a Civic Plaza and/or Square is proposed, it shall be at least 1,000 square feet in area.

450-48.A.19.i. Civic Plazas and Squares shall be installed and maintained as predominantly level areas (less than 5% grade) with substantial landscaping.

450-48.A.19.j. Civic Plazas and Squares shall be installed and maintained as combined landscaped and hardscaped spaces, with pavers, benches, lighting, and shade trees.



Oglethorpe Square, Savannah, GA



Civic Plaza with Pergola at Georgetown Square, Cranberry Township, PA

450-48.A.19. Green Areas: Civic Plazas & Squares (cont.)

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Bench and Landscaped Area - Wayne, PA



Sitting Area - State College, PA

Legislative Intent

450-48.A.19.k. Pedestrian gathering places and “pocket parks” are intended to provide viable opportunities to celebrate the public realm of a TND.

Guidelines and Best Practices

450-48.A.19.i. Whenever “Pocket Parks” are proposed, they shall be installed and maintained as plazas, pavilions, gazebos, and sitting areas at least 500 square feet in area.

450-48.A.19.m. Benches, sitting walls, shade trees, plantings, lighting, and other landscape and hard-scape features shall be installed and maintained in Pocket Parks to enhance attractiveness and safety.



Sitting Wall - Newport, RI



Benches in Pocket Park - Haverford Township, PA

450-48.A.19. Green Areas: Green Court (cont.)

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Green Court: Marshallton Walk



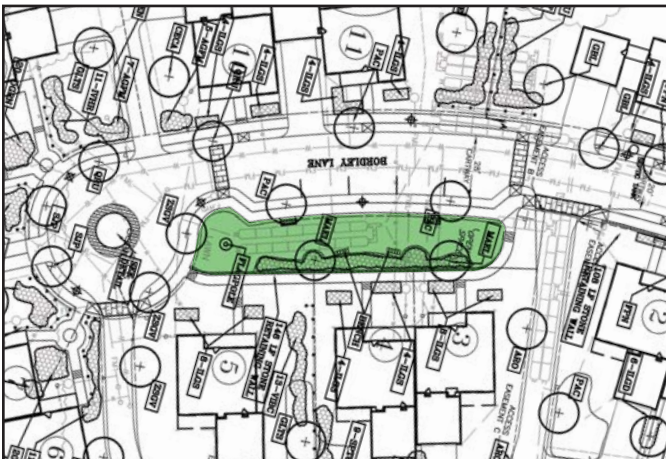
Green Court: Marshallton Walk

Legislative Intent

450-48.A.19.n. A Green Court is intended to be a mid-block Green Area that provides visual interest and a pedestrian gathering area along a streetscape.

Guidelines and Best Practices

450-48.A.19.o. Whenever a Green Court is proposed, it shall be at least 3,500 square feet in area, shall be constructed and maintained with sidewalks, benches, and landscaping.



Green Court: Marshallton Walk



Green Court: Kentlands, MD

Building Design Guidelines

The Building Design Guidelines are intended to provide only a general directive for buildings.

Whenever one (1) or more non-residential buildings are proposed, two (2) or more new residential dwellings are proposed, or where a Subdivision or Land Development Plan is required, a more detailed “Specific Manual of Design Guidelines” shall be prepared and submitted by the Applicant, in accordance with Article VIII of the TND-2 Ordinance. The Specific Manual shall clearly depict and describe the proposed Building Design for the development.

This Manual shall also apply to the redevelopment of lots, as well as development and changes to an existing building or buildings when it involves the requirement for a building permit and changes to an existing building or buildings involving features addressed in this Manual of General Design Guidelines, excluding repairs.



Traditional Marshallton Building

Elements addressed in this Section include:

- 450-48.A.20.** Accessory Buildings and Structures
- 450-48.A.21.** Adaptive Reuse of Buildings
- 450-48.A.22.** Alterations and Additions to Existing Buildings
- 450-48.A.23.** Building Design
- 450-48.A.24.** Building Facades
- 450-48.A.25.** Building Heights
- 450-48.A.26.** Building Materials
- 450-48.A.27.** Building Scale/Size/Proportion
- 450-48.A.28.** Fenestration
- 450-48.A.29.** Front Doors/Entryways
- 450-48.A.30.** Porches and Stoops
- 450-48.A.31.** New Buildings
- 450-48.A.32.** Garage Doors

450-48.A.20. Accessory Buildings and Structures

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Garage in Rear Yard



Garages off Alley

Legislative Intent

450-48.A.20.a. Accessory buildings such as garages and sheds are intended to be compatible with principal buildings.

Guidelines and Best Practices

450-48.A.20.b. Accessory buildings shall be installed and maintained to be compatible with the architectural character of the principal building, in terms of design, scale, proportion, materials, and color.

450-48.A.20.c. Prefabricated storage buildings made of wood may be used if they are not placed in the front or side yards (not visible from the public right-of-way).

450-48.A.20.d. Newly constructed garages shall provide a cohesive appearance with the property.



Garage off Alley



Accessory Building compatible with principal building architecture

450-48.A.20. Accessory Buildings and Structures

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Mail Kiosk within context-sensitive accessory structure



HVAC equipment screened from view



Satellite Dish Antenna located on the rear of the dwelling

Legislative Intent

450-48.A.20.e. Accessory structures such as cable tv boxes, satellite dish antennae, generators, and other electrical/mechanical equipment are intended to be screened in order to minimize their adverse visual impact from streets and other public ways.

450-48.A.20.e. Accessory structures such as mail kiosks are intended to be similar to the overall neighborhood character of the principal buildings.

Guidelines and Best Practices

450-48.A.20.f. Accessory structures such as cable tv boxes, satellite dish antennae, generators, and other electrical/mechanical equipment shall be located on the side or rear of a dwelling, and screened by walls and/or fencing complementary to the material of the principal building and/or structure.

450-48.A.20.g. Accessory structures such as HVAC equipment shall be located to the side or rear of the dwelling and screened by fencing or walls complementary to the material of the principal building, or with evergreen plantings if visible from the street frontage.

450-48.A.20.h. Accessory structures such as mail kiosks shall be constructed in a similar architectural style to the principal buildings, and shall be centrally located near sidewalks and off-street parking.

450-48.A.21. Adaptive Reuse of Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Adaptive Reuse of Old Drovers Inn



Adaptive Reuse and Mixed Use

Legislative Intent

450-48.A.21.a. The adaptive reuse of a building preserves its integrity and continues its lifespan.

450-48.A.21.b. Adaptive reuse can more easily be accommodated with buildings that contain smaller square footages.

Guidelines and Best Practices

450-48.A.21.c. Buildings in the Village shall continue to be adaptively reused in order to extend their lifespan and utility.

450-48.A.21.d. Existing buildings shall be rehabilitated in order to accommodate new uses.

450-48.A.21.e. Adaptive reuse shall be promoted at all times as an alternative to demolition.

450-48.A.21.f. Existing building features shall be utilized in adaptive reuse.



Adaptive Reuse of former Blacksmith Shop



Adaptive Reuse of former Grange

450-48.A.22. Alterations and Additions to Existing Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District



The existing Buildings in the Village

Legislative Intent

450-48.A.22.a. Alterations and additions to existing buildings are intended be undertaken in the most sensitive manner as possible.

450-48.A.22.b. Alterations, which may involve reconstruction and restoration, are intended to be seamless relative to blending old and new features.

450-48.A.22.c. This section is intended to apply whenever there is a subdivision or land development, involving one (1) or more non-residential buildings or 2 or more residential buildings and to the redevelopment of lots, as well as development and changes to an existing building or buildings when it involves the requirement for a building permit and changes to an existing building or buildings involving features addressed in this Manual of General Design Guidelines, excluding repairs.

Guidelines and Best Practices

Foundations

450-48.A.22.d. When a foundation must be repaired or rebuilt, original bricks or stones shall be used or be replaced by bricks or stones that are similar to the original in size, color and surface texture.

450-48.A.22.e. Openings between brick piers may be filled in with matching masonry materials or lattice. The infill shall be noticeably recessed.

450-48.A.22.f. Painting and waterproofing of exposed parts of foundations are discouraged. Painting may be permitted if the exposed areas historically have been painted.

450-48.A.22.g. Underpinning shall consist of bricks and joint tooling that match the piers as closely as possible. Non-structural underpinning may consist of a single course of bricks, lattice brick walls, or even treated wooden lattice. Structural underpinning may be a veneer wall of brick covering a concrete block wall. This thickness may meet the minimum requirements for a foundation wall. Brick lattice may also be used as a veneer to cover the concrete block.

450-48.A.22.h. Openings for venting of the foundation area shall be non-obtrusive and in non-character defining areas of the building.

450-48.A.22.i. An access door of pressure treated material shall be located in a non-obtrusive area of a non-character-defining elevation.

Exterior Wall Materials

450-48.A.22.j. Resurfacing wooden buildings with wood materials unavailable when the structure was built shall not be permitted

450-48.A.22.k. Sandblasting wooden siding will compromise the structural integrity of the material and will accelerate decay and shall not be permitted.

(Continued on page 22.1.)

450-48.A.22. Alterations and Additions to Existing Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

450-48.A.22.i. Wood siding which cannot be repaired, shall be replaced with duplicate siding. The use of synthetic siding materials, such as asbestos siding, asphalt siding, aluminum siding, plastic siding, artificial cast stone, and brick veneer shall be avoided. However, hardiplank or equivalent may be utilized as a siding material.

450-48.A.22.m. Sandblasting and other abrasive surface preparation methods, that can damage materials, shall not be permitted

450-48.A.22.n. Materials, such as brick, stone, wood shingles, and certain metals, which have not historically been painted, shall remain unpainted.

450-48.A.22.o. Repairs and replacements of deteriorated masonry shall be made with products that duplicate the existing materials as closely as possible in appearance, texture and color.

450-48.A.22.p. The use of synthetic materials shall be avoided, such as artificial brick siding, brick veneer, and artificial cast stone.

450-48.A.22.q. Sandblasting shall not be permitted as it compromises the structural integrity of the masonry and accelerates deterioration.

Chimneys

450-48.A.22.r. Original chimneys are significant features of old buildings and shall be preserved. Chimney repairs may include re-laying loose bricks, careful repointing of deteriorated mortar joints, and proper installation of metal flashing.

450-48.A.22.s. The design of original chimney masonry shall be preserved.

450-48.A.22.t. Metal caps or other covers are acceptable as long as they are installed without altering the design of the chimney.

450-48.A.22.u. Brick corbelling, clay chimney pots, or other original features shall be repaired rather than removed.

450-48.A.22.v. Chimneys and furnace stacks added after original construction may be removed if the appearance of the building will otherwise remain unchanged.

450-48.A.22.w. Original chimneys shall not be shortened or removed when they become deteriorated.

450-48.A.22.x. Parging shall not be used as alternative to repointing deteriorated chimney masonry.

450-48.A.22.y. Metal vent pipes that protrude through the top of a chimney shall not be permitted. Chimneys made of materials that simulate brick or stone shall not be permitted. Unpainted masonry shall not be painted.

Windows and Doors

Windows and doors are important architectural elements. Often, the entire character of a structure is destroyed by the alteration of these elements.

450-48.A.22.z. All existing window openings shall be retained.

450-48.A.22.aa. Relevant elements pertaining to windows such as sashes, glass, lintels, sills, architraves, shutters, and hardware shall be retained.

450-48.A.22.bb. Windows shall be repaired whenever feasible. If replacement is necessary, the new units should match the existing as closely as possible.

450-48.A.22.cc. Shutters shall be retained.

450-48.A.22.dd. The pattern, arrangements, and dimensions of doors and windows on the principal elevations of a building shall be retained.

450-48.A.22.ee. Metal storm windows and doors with painted or baked enamel finishes shall be permitted.

450-48.A.22.ff. Double-glazed windows shall be permitted if they match as closely as possible the material, scale, character, and appearance of the original window.

450-48.A.22.gg. Introduction of new window and door openings into the principal elevations of a building shall be minimized. If permitted, new openings shall be proportionally the same as existing openings and shall have matching sash, glass, sills, frames, casings, and muntin patterns.

(Continued on page 22.2.)

450-48.A.22. Alterations and Additions to Existing Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

450-48.A.22.hh. Original window and door casings, sills, and trim shall not be destroyed when storm windows or doors are installed.

450-48.A.22.ii. Sash, window panes, muntins, and rails shall not be replaced with those that are incompatible in size, configuration, and reflective qualities or which alter the setback relationship between window and wall.

450-48.A.22.jj. Unpainted aluminum shall not be permitted for storm doors and windows. They shall have a baked enamel finish matching the building's window trim or galvanized metal to be painted to match window trim color.

450-48.A.22.kk The use of existing doors and door hardware is recommended. If replacement is necessary, the new door shall match the old as closely as possible and be appropriate to the architectural style of the building.

450-48.A.22.ii. Door hardware shall be repaired rather than replaced. If replacement is necessary, the new hardware shall match the old as closely as possible and be appropriate to the architectural style of the building.

450-48.A.22.mm. Storm doors shall be full view glass doors and constructed of wood. If metal doors must be used, they should be full view and have a baked enamel finish to match the trim color.

Architectural Components and Details

450-48.A.22.nn. Architectural components, such as fascias, soffits, trim, columns, brackets, porch railings, and door/window casings, and architectural details, such as joinery and surface patterns, contribute significantly to the historic character of a building and shall be protected.

450-48.A.22.oo. Original architectural components and details shall be retained whenever possible.

450-48.A.22.pp. When architectural components and details must be repaired and replaced, the new components or details shall match the historic elements as closely as possible.

450-48.A.22.qq. Architectural components and details that are not appropriate to the historic character of the building shall not be added.

450-48.A.22.rr. Sandblasting and other abrasive treatments that can damage historic architectural components and details shall not be permitted.

450-48.A.22.ss. Architectural components such as fascias, soffits, and columns, shall not be replaced or covered by materials, such as plywood, vinyl, and aluminum, that would not have been used in the original construction.

Roofs and Roofing Materials

450-48.A.22.tt. Original roof forms, pitches, rafter tails, molding, trim, and soffit boards shall be retained.

450-48.A.22.uu. Historic roofing materials, shall be preserved, if feasible.

450-48.A.22.vv. Features such as dormers or balustrades may be added if they are appropriate for the style and scale of the building.

450-48.A.22.ww. Composition shingles of asphalt and fiberglass are acceptable substitutes for most original roofing materials.

450-48.A.22.xx. White or very light shingles are shall not be permitted.

450-48.A.22.yy. Metal flashing shall be installed behind siding or roofing.

450-48.A.22.zz. Roof ventilators, skylights, solar panels, and other mechanical items shall be installed on rear slopes or other locations not visible from the front yard.

450-48.A.22.aaa. Built-in gutters that are important to the architecture of the structure shall be repaired rather than removed when they become deteriorated.

450-48.A.22.bbb. Raising or lowering the roof pitch, adding sheds, or removing original features such as dormers, turrets, chimneys, and balustrades shall not be permitted.

450-48.A.22.ccc. Roofing tar shall not be permitted as a substitute for properly installed metal flashing.

450-48.A.22. Alterations and Additions to Existing Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

Building Systems

450-48.A.22.ddd. Installation, rehabilitation, or replacement of mechanical systems shall be planned to minimize changes to the appearance of a building. Building systems include mechanical and electrical equipment and distributions lines; plumbing pipes and vents; and communication systems, such as telephone, television, and satellite.

450-48.A.22.eee. Mechanical services shall be installed in areas and spaces that will require the least possible alteration to the plan, materials, and appearance of a building. If feasible, existing early mechanical systems, including plumbing and early lighting fixtures, shall be repaired.

450-48.A.22.fff. Utility meters and heating and air-conditioning equipment shall be located at the rear of a structure if feasible. Mechanical equipment which can be seen from the public right-of-way shall be screened with shrubbery or appropriate fencing.

450-48.A.22.ggg. Utility meters and panels that are visible from the public right-of-way shall be configured and located as close to grade as utility company standards permit.

450-48.A.22.hhh. Mechanical supply lines and ductwork shall be located inside buildings if feasible. Exterior mechanical supply lines and ductwork shall be disguised by architectural elements compatible with the character of the building and shall be located as inconspicuously as possible.

450-48.A.22.iii. Exposed ductwork or piping that is visible from the front yard shall not be permitted.

450-48.A.22.jjj. Plumbing vents shall not be visible from the front yard.

450-48.A.22.kkk. Solar collectors shall not be visible from the front yard.

450-48.A.22.lll. Mechanical equipment shall not be located in front of the midpoint of the side of the building.

450-48.A.22.mmm. Attaching exterior electrical, telephone, television, etc. cables to the principal elevations of the building shall not be permitted.

Safety and Code Elements

450-48.A.22.nnn. Fire escapes and access ramps shall be designed so there is minimal visual impact on the building. If feasible, they shall not be visible from the public right-of-way.

450-48.A.22.ooo. Fire escapes and access ramps that are visible from the public right-of-way shall be constructed so that the scale, materials, and details are compatible with the building.

450-48.A.22.ppp. Fire escapes and access ramps which are visible from the public right-of-way shall be painted to match or complement the building.

450-48.A.22.qqq. Fire escapes and access ramps shall be constructed so that they can be built or removed with minimum damage to the building. If feasible, new doors for fire escapes shall be located in existing openings.

Additions

450-48.A.22.rrr. An addition shall be located to the rear or in an inconspicuous location at the side of the building.

450-48.A.22.sss. An addition shall be designed and constructed so that the character-defining features of the building are not radically changed, obscured, damaged or destroyed.

450-48.A.22.ttt. An addition shall be limited in size and scale in relationship with the existing building.

450-48.A.22.uuu. An addition shall be clearly defined by roof line, cornice height, wall plane, and materials.

450-48.A.22.vvv. A contemporary design that is compatible with the building shall be acceptable for a new addition.

450-48.A.22.www. Major landscape features, such as large trees and plantings, shall be retained and protected when an addition is constructed.

(Continued on page 22.4.)

450-48.A.22. Alterations and Additions to Existing Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

450-48.A.22.xxx. Alterations that change the character and scale of the existing building to accommodate an addition shall not be acceptable.

450-48.A.22.yyy. Removal of, or alterations to, important architectural details on the original building to accommodate an addition shall not be acceptable.

450-48.A.22.zzz. Additions, such as greenhouses, solariums, and balconies, shall not be placed on the primary elevation/primary facade of the building.

450-48.A.22.aaaa. All other relevant Sections of this Manual shall apply, and Section 450-48.A-6. Get Your House Right shall apply.

450-48.A.23. Building Design

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Traditional Building with traditional fenestration and materials

Legislative Intent

450-48.A.23.a. Many of the buildings in the Village are architecturally diverse, ornate and built with materials that existed prior to 1950.

450-48.A.23.b. The character of the Village is derived in large part due to the smaller scale buildings, the size of buildings, and the proportion of the building mass to front and side yard setbacks.



Traditional Building with traditional fenestration and materials

Guidelines and Best Practices

450-48.A.23.c. Buildings shall be designed to take maximum advantage of potential adaptive reuse from residential to commercial, to office, back to residential. In so doing, design, build and maintain buildings with a similar size, scale and proportion to better enable multiple adaptations over time.

450-48.A.23.e. Buildings shall be designed to emulate the characteristics of existing buildings such as, the facades, heights, materials, scale/size, fenestration, porches, stoops, and rooflines.



Traditional Building with varied roof lines



Infill Building with traditional fenestration

450-48.A.24. Building Facades

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Building Facade Articulation



Infill Building emulating characteristics of Traditional buildings in the Village

Legislative Intent

450-48.A.24.a. Most of the building facades in the Village have vertical bays and proportions.

450-48.A.24.b. Most of the building facades have a layering effect created by elements such as shutters, pilasters, porticoes, porches and pent eaves.

450-48.A.24.c. Facades of existing buildings utilize similar materials.

Guidelines and Best Practices

450-48.A.24.d. Articulate Facades of buildings shall be articulated through the use of such elements as pilasters, porticoes, porches, stoops and shutters. The creation of facades that are flat and without ornamentation is discouraged.

450-48.A.24.e. Porches and stoops are encouraged.

450-48.A.24.f. Facades shall be articulated with vertical bays and proportions.

450-48.A.24.g. The traditional facades of the village shall be emulated to maintain a consistency of form, texture, scale, and proportion.



Articulated building facade



Building with front porch articulation

450-48.A.25. Building Heights

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Three Story Building



Three Story Building

Legislative Intent

450-48.A.25.a. Most buildings in the Village are two and three stories in height.

450-48.A.25.b. Two and three story buildings give stature and structure to the Streetscape.

450-48.A.25.c. Two and three story buildings provide opportunities for the vertical mix of uses of a building.

Guidelines and Best Practices

450-48.A.25.d. Two and three story buildings shall be constructed and maintained in the Village.

450-48.A.25.e. If a one-story building is built for a portion of the structure, the building height of that section of the buildings, shall be at least 20 feet, and the roof pitch shall be at least 7/12.

450-48.A.25.f. Rooflines shall vary by three feet to six (3 to 6) feet in height for any two adjoining buildings.



Two Story Buildings, with Third/Half Story in Gable End



Two Story Infill Building

450-48.A.26. Building Materials

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Brick and Stone used as exterior building materials



Martins Tavern traditional building materials

Legislative Intent

450-48.A.26.a. Brick, stone, cut stone, stucco over stone, and clapboard siding are traditional building materials in the Village.

450-48.A.26.b. The use of traditional materials provides a historic reference to the Village.

450-48.A.26.c. Synthetic materials such as vinyl siding and cultured stone are considered to be non-traditional.

Guidelines and Best Practices

450-48.A.26.d. Brick, stone, cut stone, stucco over stone, clapboard siding, and hardiplant or equivalent shall be used in all new construction.

450-48.A.26.e. Contrast shall be provided with the primary building material, through the use of windows, doors, pilasters, columns, porticos, pent eaves, porches, stoops, and the like.

450-48.A.26.f. The same building materials shall be incorporated on all sides of a building.

(continued on page 26.1)



Stone building with complementary stone walls and stone piers



Buildings with stone materials

450-48.A.26. Building Materials (continued)

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

Masonry

450-48.A.26.g. Original or early masonry materials shall be retained to the maximum extent possible.

450-48.A.26.h. Repairs and replacements of deteriorated masonry shall be performed with products that duplicate the existing materials as closely as possible in appearance, texture, and color.

450-48.A.26.i. New masonry materials which were not available when the structure was constructed, such as artificial brick siding, artificial cast stone, cultured stone, brick veneer, Portland cement, and fiberglass mixtures, shall not be permitted.

450-48.A.26.j. Existing bond patterns and mortar joints shall be duplicated.

450-48.A.26.k. Repointing shall match the design and color of original mortar joints as closely as possible.

450-48.A.26.l. Use of a high Portland cement content is highly discouraged because this will often result in mortar joints stronger than the existing masonry. This is a source of potential deterioration due to the new mortar bonding too strongly to the masonry.

450-48.A.26.m. Sandblasting shall not be permitted. It compromises the structural integrity of the brick, accelerating the deterioration process.

450-48.A.26.n. Cleaning masonry is recommended only when it is determined that the "dirt" is actually accumulated and not the effects of weathering.

450-48.A.26.o. Masonry shall be cleaned with the gentlest means possible, such as low pressure water and natural soft brushes.

450-48.A.26.p. Chemical cleaners shall be used only after a spot test has been conducted by the Architect on the DRC, and only after the Architect has determined that no adverse effects will occur to the masonry.

450-48.A.26.q. All masonry architectural features shall be retained. Cornices, moldings, etc. are significant parts of structures and shall be retained as such.

450-48.A.26.r. Masonry shall not be painted unless it has historically been painted.

450-48.A.26.s. Masonry shall not be parged (covered with cement-like coating) unless it has been historically parged.

Wood

450-48.A.26.t. Existing wood siding shall be retained when feasible.

450-48.A.26.u. Repairs and replacements to wood shall match, as closely as possible, the existing wood in size, shape, texture and composition.

450-48.A.26.v. The following materials are not recommended to replace wood: asbestos siding, asphalt siding, aluminum siding, vinyl siding, plastic siding, artificial stone, or brick veneer.

450-48.A.26.w. Wooden architectural features shall be retained whenever possible.

450-48.A.26.x. Paint and other coating, such as stucco, shall not be applied to wood that has not historically been painted or coated.

450-48.A.27. Building Scale/Size/Proportion

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Building with traditional scale



Three Bay Building

Legislative Intent

450-48.A.27.a. The buildings in the Village maintain a traditional scale and size typically at two and three stories in height, and three to five bays in width.

450-48.A.27.b. The traditional scale and size is also formed through a fenestration pattern that is typically vertical.

Guidelines and Best Practices

450-48.A.27.c. Buildings of predominantly three to five bays in width shall be constructed and maintained.

450-48.A.27.d. Buildings shall not exceed 60 feet in width along the primary facades.

450-48.A.27.e. Buildings shall have recesses and/or projections of up to five (5) feet at regular intervals. However, no continuous plane of a facade shall exceed 30 feet without a recess or projection.



Normative building scale



Smaller scale building

450-48.A.28. Fenestration

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Vertical articulation of doors and windows



Verticality of building emphasized with Fenestration

Legislative Intent

450-48.A.28.a. All of the buildings in the Village are detailed with vertical window treatments.

450-48.A.28.b. Windows, doors, shutters, and dormers appear balanced in the Village with consistency of vertical proportions.

Guidelines and Best Practices

450-48.A.28.c. The primary vertical orientation of windows shall be maintained for primary facades.

450-48.A.28.d. Primary facades shall have at least 25% of the building walls pierced with windows and doors.



Vertical articulation of doors and windows



Horizontal building with vertical window and door articulation

450-48.A.29. Front Doors/Entryways

Manual of General Design Guidelines

West Bradford Township: TND-2 District



A portico provides weather protection, while also emphasizing the entrance of the building

Legislative Intent

450-48.A.29.a. The front doors in the Village provide a graceful entryway treatment and appearance.

450-48.A.29.b. Front doors that are enhanced with porticos, pent eaves, landscape treatment, and other ornamentation provide a welcoming statement.



Landscaping accentuates entryway

Guidelines and Best Practices

450-48.A.29.c. Enhance the Front doors of the primary facades of buildings shall be enhanced with pent eaves, porticos, porches, stoops and the like.

450-48.A.29.d. Columns shall be sized in proportion to the entryway structure.



Front Entry with Porch and Columns Proportionate to Entry



Architectural Elements define entryway

450-48.A.30. Porches and Stoops

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Full Front Porch



Elevated front Porch

Legislative Intent

450-48.A.30.a. The Front Porch and the Stoop are important traditional architectural features in the Village.

450-48.A.30.b. The Front Porch and Stoop provide a graceful transition from the height of the building to the front yard and streetscape.

450-48.A.30.c. Porch details such as balustrades, columns, and steps are important in defining the front elevation of a building.

Guidelines and Best Practices

450-48.A.30.d. Existing porches and stoops shall be maintained.

450-48.A.30.e. Existing and new porches and stoops shall not be enclosed.

450-48.A.30.f. Porch and stoop materials shall not be made of pressure treated lumber. Where used these shall be painted.

450-48.A.30.g. Porch and stoop columns shall be sized in proportion to porch roofs.

450-48.A.30.h. New porches shall be sized to be at least 7 feet deep and 14 feet wide.



Front Porch with Lattice Skirt



Traditional Front Porch

450-48.A.30. Porches and Stoops (continued)

Manual of General Design Guidelines

Guidelines and Best Practices

450-48.A.30.i. Porches and steps on primary facades shall be repaired rather than removed. Such elements shall be repaired with new materials that match the design and dimensions of the original materials as closely as possible.

450-48.A.30.j. Porch restorations that involve the replacement of missing details such as balustrades, steps, or brackets shall be based on historic documentation.

450-48.A.30.k. Repairs to porches using materials incompatible with the original materials, such as metal supports, plywood or concrete shall not be made.

450-48.A.31. New Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Martin's Tavern

Legislative Intent

450-48.A.31.a. New buildings are intended to respect the character of historic buildings.

450-48.A.31.b. Contemporary architectural expression is encouraged as long as the design is harmonious with the historic aspects of the surrounding neighborhood and the Village.



New Infill Buildings

Guidelines and Best Practices

450-48.A.31.c. New buildings shall be located in accordance with the Building Location section.

450-48.A.31.d. The primary facade of a new building shall face the street.

450-48.A.31.e. Buildings shall not be sited with side walls facing the street, unless they are located on a corner lot.

450-48.A.31.f. New construction projects shall respect the existing topography and vegetation on the site.

450-48.A.31.g. Medium and large scale grading or fill to level a sloping site shall not be permitted.

450-48.A.31.h. Existing trees and historic landscape features, such as retaining walls and gardens, shall be incorporated into the landscape plan for new construction projects.

450-48.A.31.i. Large trees that must be removed shall be replaced with trees that grow to be similar in size.

450-48.A.31.j. During construction, trees that can be saved shall be protected by using the following practices:

1. Protective fencing shall be installed around tree protection areas prior to any land disturbance.
2. The protected area shall include all land within the tree canopy area. This will insure protection of the root area of the tree.
3. Construction site activities such as parking, material storage, dirt stockpiling, and concrete "wash-out" shall take place outside tree protection areas.

450-48.A.31.k. New construction shall incorporate architectural components that can be used to create scale, such as porches, trimwork, and details.

450-48.A.31.l. Oversized or monumental architecture shall be avoided in new construction.

(Continued on page 31.1)

450-48.A.31. New Buildings (continued)

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Guidelines and Best Practices

450-48.A.31.m. The height of a new building shall relate to the prevailing height along a street. The height shall be within fifteen (15) percent of the average height of the buildings on the block hosting the new construction.

450-48.A.31.n. The general plan and form of a new building shall relate to the form of nearby buildings along the street.

450-48.A.31.o. The roof of a new building shall relate to the roofs of neighboring buildings in type, pitch and materials.

450-48.A.31.p. New residential buildings shall have porches, porticos, or stoops.

450-48.A.31.q. Flat roofs without cornices and pitched roofs without overhangs shall not be constructed.

450-48.A.31.r. The pattern and arrangement of windows and doors of a new building shall relate to nearby buildings.

450-48.A.31.s. The ratio of wall space to adjoining openings in a new building shall be similar to that in nearby buildings.

450-48.A.31.t. The height and width of openings shall be similar in proportion to those of nearby buildings. Windows shall have a vertical orientation.

450-48.A.31.u. New windows and doors shall be similar in type, design, and materials to those in nearby buildings.

450-48.A.31.v. Openings in new buildings shall be similar to those of existing buildings. Frames in masonry buildings should be recessed in openings. Frames in wood buildings shall have raised casings with dimensions similar to those found in existing buildings.

450-48.A.31.w. Vinyl cladding and unfinished aluminum shall not be permitted as finish materials for windows in a new building.

450-48.A.31.x. Snap in muntins in windows in a new building shall be minimized.

450-48.A.31.y. Materials, such as rough-sawn (clapboards or panels) and vinyl or aluminum siding, that are substantially different in character and appearance from historic materials, shall not be used in new construction.

450-48.A.31.z. Cultured Stone shall not be used in new construction.

450-48.A.31.aa. All other relevant Sections of this Manual shall apply to New Buildings, and Section 450-48.A-6. Get Your House Right shall apply.

450-48.A.32. Garage Doors

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Detached Garage with complementary building materials



Garage with wooden doors

Legislative Intent

450-48.A.32.a. Garages are intended to be designed in a manner that is complementary to the Architecture of the dwelling

450-48.A.32.b. Attached and Detached Garages are intended to retain the Streetscape.

450-48.A.32.c. Garage Doors are intended to be de-emphasized.

Guidelines and Best Practices

450-48.A.32.d. The materials for the Garage shall be complementary to the dwelling.

450-48.A.32.e. Whenever a garage is not accessed off an alley, it shall be rotated so that the garage doors do not face the Streetscape, or shall be set back at least 20 feet from the front facade of the dwelling.

450-48.A.32.f. Garage doors shall be installed and maintained in a non-white color unless the principal building is white in color.



Garage with complementary building materials



Garage setback from front facade of the dwelling

Appendix of Specialized Subjects

Manual of General Design Guidelines

West Bradford Township: TND-2 District

This Appendix addresses specialized subjects in the Village of Marshallton.



Village of Marshallton

Elements addressed in this Section include:

450-48.A-2 Context Sensitive Uses

450-48.A-3 Demolition

450-48.A-4 Rehabilitation of Buildings:
The Secretary of the Interior's
Standards for Rehabilitation

450-48.A-5 Definitions

450-48.A-6 Excerpts of "Get Your House Right",
by Marianne Cusato & Ben Pentreath,
2007

450-48.A-2. Context Sensitive Uses

Manual of General Design Guidelines

West Bradford Township: TND-2 District



Old Blacksmith Shop



Restaurant

Legislative Intent

450-48.A-2.a. The Village has an assemblage of diverse uses that promote an attractive and historical place.

450-48.A-2.b. The uses are housed in buildings that are smaller in scale and predominantly residential in proportion.

Guidelines and Best Practices

450-48.A-2.c. Context sensitive uses shall be promoted, such as:

1. Antique Shops
2. Art Galleries
3. Bed and Breakfast Inns
4. Farmers Market/Growers Market
5. Florist
6. Gift shop
7. Humphrey Marshal House
8. Martins Tavern "parklet"
9. Museum
10. Professional Offices
11. Restaurant/Tavern/Brewery

450-48.A-2.d. These context sensitive uses shall be located, designed, parked, landscaped, etc. in accordance with this Manual.



Gift Shop on Ground Floor



Martins Tavern "parklet"

450-48.A-3. Demolition

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Legislative Intent

450-48.A-3.a. Demolition of a building is an action that can have far-reaching consequences for the Village of Marshallton.

450-48.A-3.b. A demolished historic building can no longer communicate the importance of historical events, the life and work of historical figures, or the construction techniques of the past. It is a lost educational resource.

450-48.A-3.c. Demolition of a building can have serious, negative psychological and social effects on village residents. Familiar landmarks are very meaningful. Their loss is disturbing, upsets the established sense of community, and decreases livability.

450-48.A-3.d. Empty lots create a great physical loss for the streetscape. The “missing tooth” appearance is particularly troubling, as the village derives its character from the consistent appearance of buildings spaced in a traditional arrangement along the street.

Guidelines and Best Practices

450-48.A-3.e. Alternatives to Demolition shall be sought.
(See “Adaptive Reuse of Buildings”)

450-48.A-3.f. Demolition shall be the act of last resort if public safety and welfare requires the removal of a building; or structural instability of a building has been demonstrated by a certified engineer or architect.

450-48.A-3.g. Any demolition shall be conducted in accordance with the applicable West Bradford Township Zoning and Building Code requirements.

450-48.A-4. Rehabilitation of Buildings

Manual of General Design Guidelines

West Bradford Township: TND-2 District

The Secretary of the Interior's Standards for Rehabilitation

West Bradford Township shall use these standards as a guide to future development/rehabilitation in the village:

450-48.A-4.a. The Secretary of the Interior's Standards for Rehabilitation are 10 basic principles created to help preserve the distinctive character of a historic building and its site, while allowing for reasonable change to meet new needs.

450-48.A-4.b. The Standards (36 CFR Part 67) shall apply to historic buildings of all periods, styles, types, materials and sizes. They shall apply to both the exterior and the interior of buildings. The Standards shall also apply to related landscape features and the building site and environment as well as attached, adjacent or related new construction.

450-48.A-4.c. The 10 Standards for Rehabilitation are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

450-48.A-5. Definitions

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Alley - A minor right-of-way, municipally or privately owned, typically providing vehicular access to the side or rear of two or more lots.

Architrave - Molded frame surrounding a door or window.

Awning - A rooflike shelter made of canvas or other durable material, that provides protection from sun, rain, snow, etc., such as a shelter extending: over a doorway; over a porch; over a deck; or from the top of a window.

Balustrade - A short post or pillar supporting a railing.

Bollard - A post preventing vehicles from entering an area.

Corbelling - A series of projecting blocks supporting a beam or arch.

Colonnade - A row of columns.

Dormer - A window placed vertically in a sloping roof having a roof of its own

Eave - The under part of a sloping roof overhanging a wall.

Fascia - A plain horizontal band usually in an architrave

Fenestration - The arrangement of windows/doors in a building.

Green Area - The landscaped space between principal buildings or an open space or recreational area, pocket park, walkway, promenade, civic plaza or square of other outdoor space in which features such as benches, gazebos, pergolas, trellises, planters, plantings, lighting and the like are installed and maintained.

Lintel - A horizontal beam or stone bridging an opening.

Massing - The way volumes are put together, and the relationship of different volumes.

Mixed-Use - A combination of residential, limited commercial, civic and/or public uses with a TND-2 District.

Mullin - A vertical upright dividing a window into two (2) or more panes.

Muntin - The vertical part in the framing of a door or panel that butts into the horizontal rails.

Pattern - The composite spatial arraignment of buildings along a streetscape that emulates the existing Village character.

Pent Eave - A confined, continuation of a sloping roofline past an exterior wall.

Pilaster - A shallow pier/column projecting slightly from a wall.

Portico - A roofed spaced forming the entrance to a structure.

Primary Elevation/Primary Facade - The Elevation and Facade of a building facing the Front Yard. On a corner lot there shall be two Front Yards.

Proportion - The arrangement of parts that relates all elements of the design to one another.

Public Way - A street or alley, public or private.

Scale - The relationship between the sizes of different elements.

Soffit - The underside of an architectural element.

450-48.A-5. Definitions (continued)

Manual of General Design Guidelines

West Bradford Township: TND-2 District

Solid to Void Ratio- The relationship between the voids (i.e., the window and door openings; Green or open area; etc.) to the solid (i.e., proportion of a building facade that comprises a blank or solid wall; building mass; etc).

Stoop - A small porch, platform, or staircase leading to the entrance to a building.

Streetscape - The public space of the village within which buildings and structures are placed close to the street and with features such as facades, porches, shopfronts, street trees, streetlights, sidewalks, picket fences, and awnings that contribute to a cohesive character.

Underpinning - Masonry foundation used to support a wall, porch, or deck from below.

Vertical Bay - A vertical division of the exterior of a building marked by a particular fenestration.

Village - The Village of Marshallton, West Bradford Township, PA.

Volume - The amount of 3-dimensional space that a building or object occupies.