

WEST BRADFORD TOWNSHIP
Ordinance 85-02

AN ORDINANCE AMENDING THE WEST BRADFORD TOWNSHIP
SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, 76-12,
ADOPTED DECEMBER 1976, AS AMENDED BY ORDINANCE
80-01, ADOPTED JULY 1980; BY DELETING CERTAIN
SECTIONS AND ADDING CERTAIN SECTIONS.

BE IT AND IT HEREBY IS ORDAINED, by the Board of Supervisors of
West Bradford Township, Chester County, Pennsylvania, that the follow-
ing shall be an amendment to the Subdivision and Land Development Ordi-
nance of West Bradford Township known as Ordinance 76-12, as amended.

Section I.

Within Section 201 - Definitions - under subdivision - delete:

"provided, however, that the division of land for agriculture
purposes into parcels of more than ten (10) acres, not involving
any new street, or easement of access, shall be exempted."

Add the following:

"provided, however, that the subdivision by lease of land for
agricultural purposes into parcels of more than ten acres, not
involving any new street or easement of access or residential
dwellings shall be exempted."

Section II.

Within Section 503.2 - Change part b. to read as follows:

- b. All cul-de-sacs, whether permanently or temporary designed
as such shall not exceed one thousand (1,000) feet in length,
or be less than 250 feet, and shall not service more than
25 lots. Permanent cul-de-sac streets must be provided with
a paved turn-around with a minimum diameter of one hundred
(100) feet to the outside curb and of one hundred (100) feet
to the street line.

Section III.

Within Section 604 - Streets - add after "under construction."
the following:

"All construction shall be in accordance with PennDot 408 specifi-
cations, however, asphalt paving shall not be done between October
31, and April 30. In addition, no paving shall be done anytime
until the air temperature has reached 50°F and is rising or the
surface on which the mixture is to be placed is 40°F or lower.

Section IV.

Within Section 605.1 - Curbs - delete:

- a. "curbs shall be required on new streets, etc..."

Add the following:

- a. "Curbs shall be required on new streets in subdivisions. In all cases the curb and gutter shall be keyed to the drainage plan."

- d. After twenty-eight (28) days, add the following,"
(contain 6% air-entrainment by volume.)

- f. After "paper.", add the following - "However, wherever a driveway enters a street, that area of the driveway shall not have a curb joint and can be constructed in lengths not longer than 20 feet."

Section V.

Delete Section 607 Water Supply in its entirety. Add the following:

Section 607 Water Supply

PUBLIC WATER SUPPLY REQUIREMENTS

A. PURPOSE

The purpose of the provisions of this section are to:

- (a) insure that each dwelling unit and each commercial or industrial building in all subdivisions and land developments hereafter granted approval shall have an adequate supply of potable water for domestic use; and,
- (b) insure that each unit or building shall have an adequate supply of water for purposes of fire protection; and,
- (c) insure that in each case where water is to be supplied to a subdivision or land development by means of a public water supply system, such system meets minimum standards controlling water storage and production capabilities for domestic and fire use for the protection of the health, safety, and welfare of all township residents.

B. ALL LAND DEVELOPMENTS MUST HAVE PUBLIC WATER:

All land developments within the franchise area of a public water company and all of that area within 1,500 feet of a water supply main operated by a P.U.C. regulated water company in West Bradford Township should be serviced by public water which shall be provided by a public utility organized and operating under the laws of the Commonwealth of Pennsylvania or by a municipal authority or other municipal corporation organized and operating under the laws of the Commonwealth of Pennsylvania.

C. PUBLIC WATER SUPPLY REQUIREMENTS-APPLICATION:

If the applicant for subdivision or land development approval proposes that the subdivision or land development be served by public water, the applicant shall submit, upon submission of the preliminary plan, seven (7) copies of documentation which shall be designated as "Proposed Public Water Supply Study" which shall contain the following information:

- (a) The name, address and telephone number of the proposed public water supplier (company, water company or public utility) proposed by the applicant to supply water to the subdivision or land development.
- (b) A complete description of the source of the water supply, the quantity and quality of the water available from that source and the capacity of all reservoirs and their locations.
- (c) If wells are to be utilized as part of the supply system, the number of wells, pumping capacity of each well, the number of hours per day that each well pump operates, diameter of well casing, draw down rated capacity of each well, the maximum sustained yield from the well test together with a copy of the well test data.
- (d) Size of the water mains to be utilized in the proposed subdivision or land development, size of all water mains on the system proposed to service the subdivision or land development, the number of existing fire hydrants on the system and the number of fire hydrants proposed for the new subdivision or land development.
- (e) The number of residential customers on the existing system proposed to service the subdivision or land development and the number of gallons required to service the existing system as of the suppliers last billing.

- (f) The number of commercial and industrial customers on the existing system proposed to service the subdivision or land development and the number of gallons required to service the system as of the supplier's last billing.
- (g) Fire hydrant test results made by the Insurance Services Office of Pennsylvania for the existing system proposed to service the subdivision or land development. In the event the system has been expanded to service additional customers since the date of the last test, applicant shall set forth the number of new customers, designating them as residential, commercial or industrial, as applicable, additional gallonage required to service those customers and the number of additional hydrants installed on the system.
- (h) A description of the service area of the public water supplier, and if regulated by the Public Utilities Commission of the Commonwealth of Pennsylvania, whether the proposed subdivision or land development is within the supplier's approved franchised area. Public Utility Commission approval to a public water company to extend any franchise area to include the proposed subdivision or land development shall be a condition precedent to subdivision or land development approval.

D. REVIEW PROCEDURE FOR "PROPOSED PUBLIC WATER SUPPLY STUDY":

- (a) The proposed public water supply study submitted by the applicant shall be reviewed by the Township Engineer in conjunction with the subdivision or land development application process and he shall make a recommendation to the Board of Supervisors with respect to applicant's compliance with the section. Applicant must bear the cost of township engineering review and report and agrees to pay the cost thereof by submission to township of a subdivision or land development application. Submission

by applicant of a complete "Proposed Public Water Supply Study" is essential and no subdivision or land development application whether preliminary or final, shall be granted approval without such submission.

E. MINIMUM WATER SUPPLY REQUIREMENTS:

- (a) In all subdivisions and land development served by public water the following water pressure and gallonage requirements shall apply:
 - (1) Residential use - a minimum domestic pressure of thirty (30) pounds per square inch shall be provided at each house to be connected to the water main. The system to which the residential unit is connected shall have sufficient capacity to supply a minimum of three hundred (300) gallons of water per residential unit per day within the subdivision or land development.
 - (a) For purposes of fire protection in residential districts, the system shall be demonstrably capable of providing fire flow water requirements for a minimum duration of two (2) hours of not less than five hundred (500) gallons per minute at residual pressures of twenty (20) pounds per square inch or more as required for ISO certification.
 - (2) Commercial or Industrial use - a minimum pressure of thirty (30) pounds per square inch shall be provided at each commercial or industrial building connected to the water supply main. When a builder wishes to connect to a public water system, a study will be made to determine if there is adequate water to supply system to supply the building and use.

- (a) For purposes of fire protection in commercial and industrial district, 1,000 GPM at twenty (20) psi residual pressure is required or as required for I.S.O. certification.

F. APPROVALS CONDITIONED UPON ADEQUACY OF PUBLIC WATER SUPPLY:

- (a) No subdivision or land development application proposing a public water supply system shall be granted preliminary or final approval unless applicant demonstrates by a fair preponderance of the credible evidence full compliance with the provisions of this section.

G. CONSTRUCTION STANDARDS:

- (a) Water mains shall be constructed of the cement-lined, ductile iron, minimum class 52 pipe or as approved by the Township Engineer. No extension of water mains shall be permitted for a pipe having a diameter of less than six (6) inches.
- (b) All pipe shall have a minimum cover of three feet six inches (3' - 6") from grade to the crown of pipe.
- (c) Generally, water mains shall be so designed as to form a loop system to enhance the continual supply of fresh water. When dead ends occur on new mains, they shall all be closed with cast iron plugs and caps, with a blowoff valve, with a concrete anchor, or fire hydrant.
- (d) Mains shall be drained through drainage branches or blowoffs to dry wells from which the water can be pumped. Drainage branches, blowoffs, air vents, and appurtenances shall be provided with valves.

- (e) Blowoffs shall not be connected to any sewer, or submerged in any manner that will permit back siphonage in the distribution system. All blowoffs should be located out of paving.
- (f) Valves in water mains shall, where possible, be located on the street property lines extended. A cast iron valve box or a masonry pit shall be provided for every valve which has no gearing or mechanism, or for which the gearing or operating mechanism is fully protected with a cast iron grease case. A masonry valve pit shall be provided for every valve which has exposed gearing or operating mechanisms.
- (g) Manholes shall be constructed of brick or concrete, with cast iron frames and covers or as approved by the Township Engineer.
- (h) Fire hydrants shall be provided as an integral part of any public water system. They shall be located no farther than six hundred (600) feet apart as measured within the right-of-way. Each hydrant shall be connected to the main with a minimum of a six (6) inch ductile iron branch controlled by a minimum of an independent six (6) inch gate valve.
- (i) Hydrants shall be located in a manner to provide complete accessibility and so that the possibility of damage from vehicles or injury to pedestrians will be minimized. When placed behind the curb, the hydrant barrel shall be set so that no portion of the pumper or nozzle cap will be less than twenty-four (24) inches from the gutter face of the curb. When set in the lawn space between the curb and the property line, no portion of the hydrant or nozzle cap shall be within (6) inches of the sidewalk.

- (j) All hydrant connections shall be reviewed by West Bradford Fire Company.

Section VI.

Within Section 608 Storm Drainage - add the following:

Storm Boxes

- g. After "runoff", and manholes shall be precast concrete. Storm boxes and manholes constructed of brick and mortar will not be accepted.

Section VII.

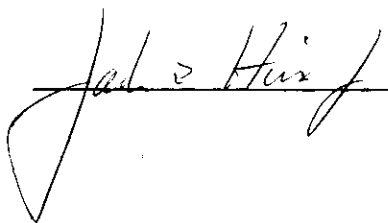
Within the appendix - delete drawings A-10 and A-11.

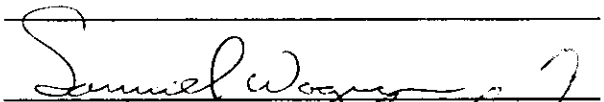
Add new drawings A-10 and A-11 dated 2-26-85.

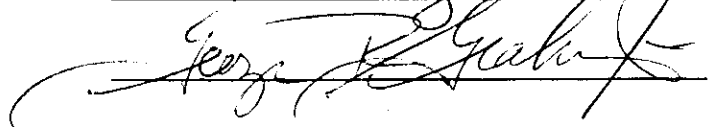
ENACTED AND ORDAINED this 26th day of March, 1985.

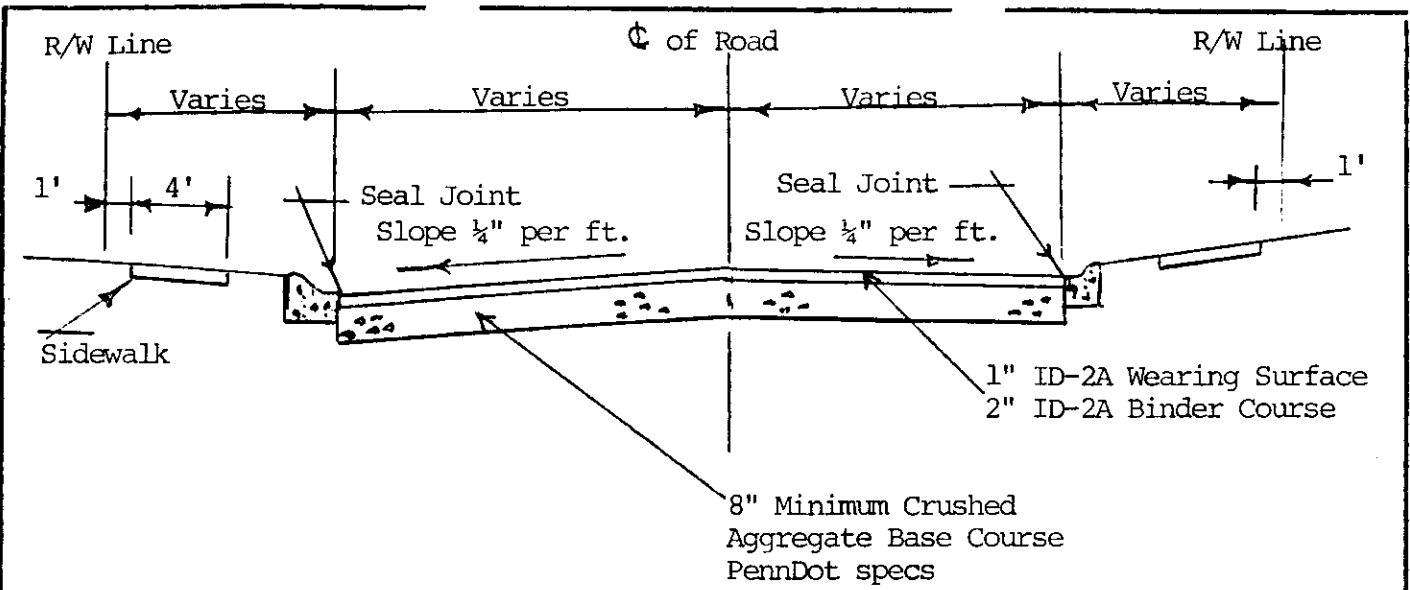
ATTEST:

BY THE BOARD OF SUPERVISORS,
WEST BRADFORD TOWNSHIP:



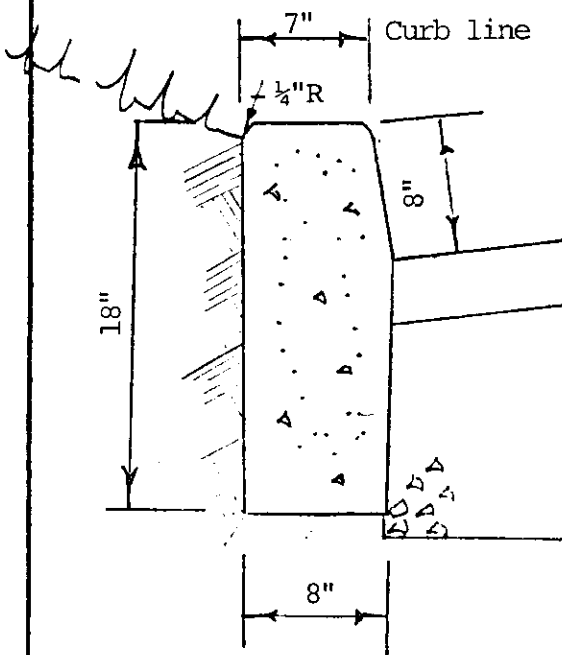




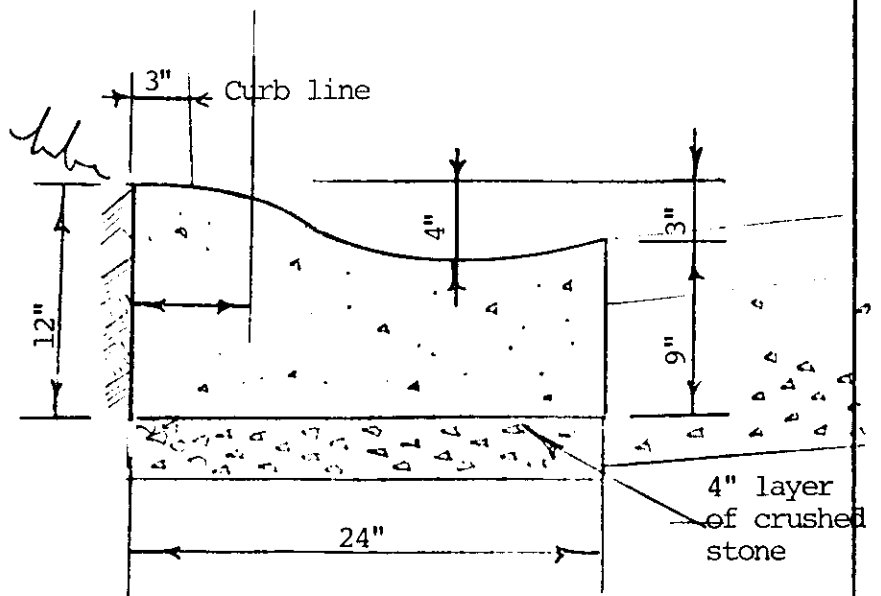


TYPICAL STREET SECTION

- Notes:
1. 4" Concrete sidewalk on 4" crushed stone slope 1/4" per ft. to curb
 2. Standard straight or rolled curb as required by Article 600, Section 605.
 3. Concrete curb and sidewalk when required by Article 600, Section 605.



Standard Straight Curb



A-10

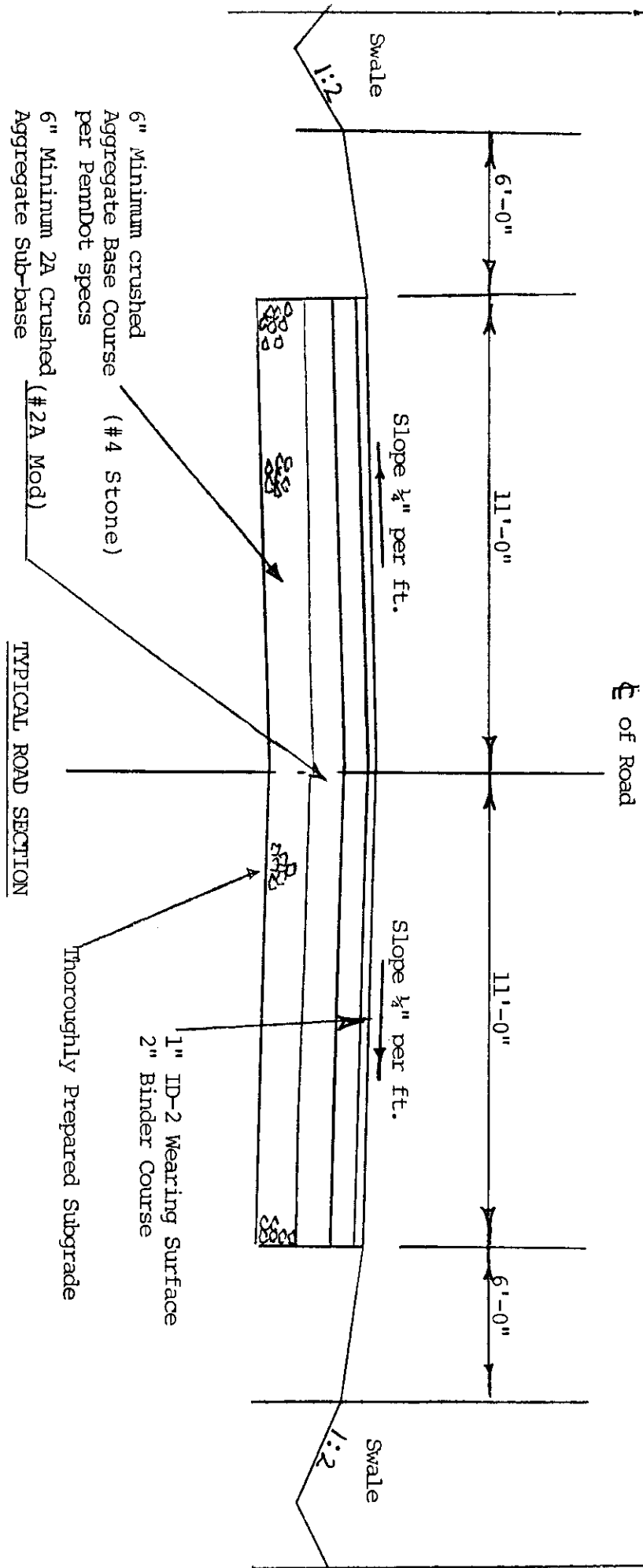
Standard Rolled Curb

R/W Line

50' - 0"

R/W Line

(2/26/85)



C of Road

Swale

Swale

6'-0"

11'-0"

11'-0"

6'-0"

Slope 1/4" per ft.

Slope 1/4" per ft.

6" Minimum crushed
Aggregate Base Course
per PennDot specs

6" Minimum 2A Crushed
Aggregate Sub-base (#2A Mod)

TYPICAL ROAD SECTION

1" ID-2 Wearing Surface

2" Binder Course

Thoroughly Prepared Subgrade